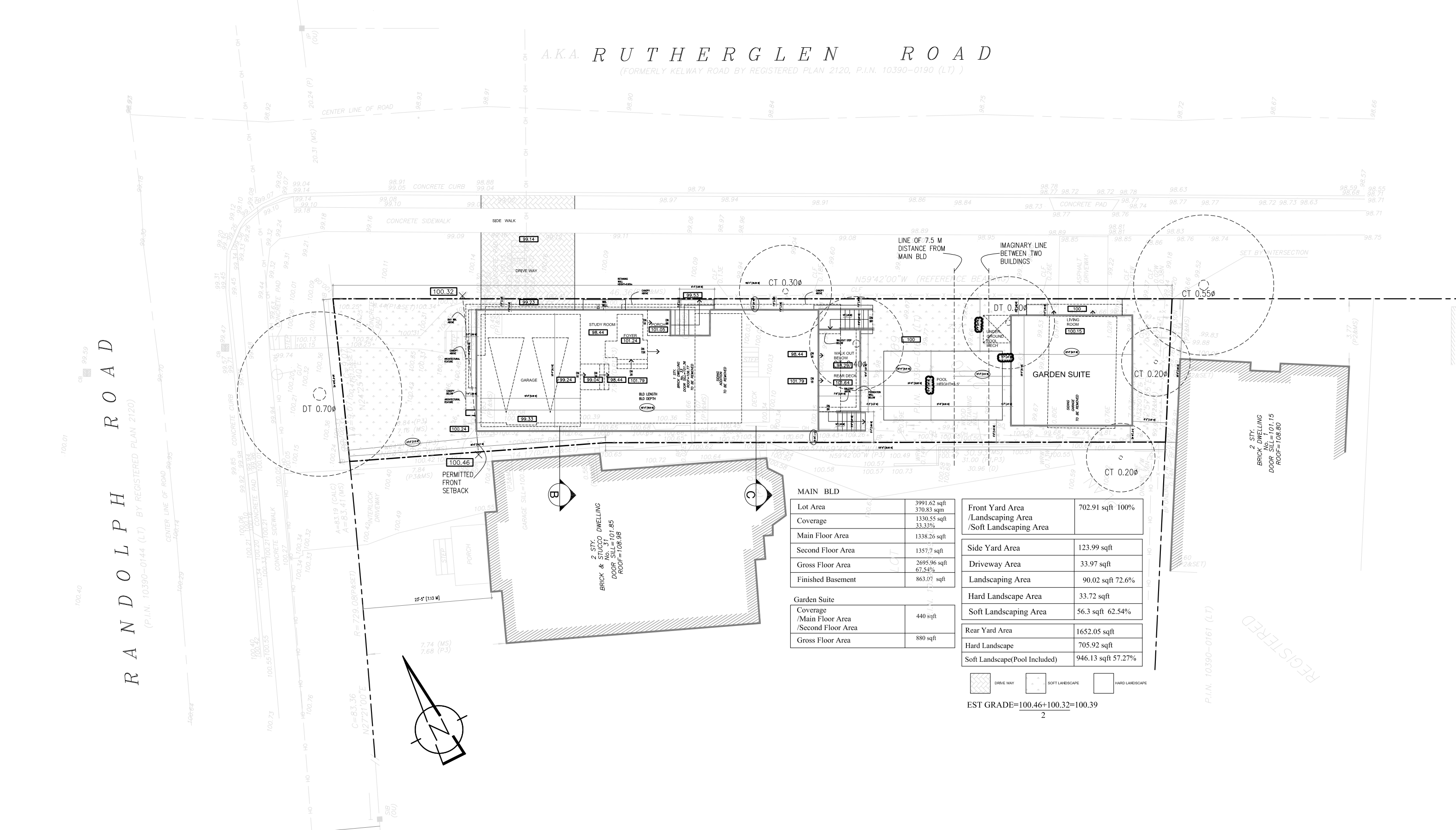


RANDOLPH ROAD

AKA. RUTHERGLEN ROAD  
(FORMERLY KELWAY ROAD BY REGISTERED PLAN 2120, P.I.N. 10390-0190 (LT))



MAIN BLD

Lot Area	3991.62 sqft
Coverage	370.83 sqm
Main Floor Area	1338.26 sqft
Second Floor Area	1357.7 sqft
Gross Floor Area	2695.96 sqft
Finished Basement	863.07 sqft

Garden Suite

Coverage	440 sqft
Main Floor Area	
Second Floor Area	
Gross Floor Area	880 sqft

Front Yard Area /Landscaping Area /Soft Landscaping Area	702.91 sqft 100%
----------------------------------------------------------	------------------

Side Yard Area	123.99 sqft
Driveway Area	33.97 sqft
Landscaping Area	90.02 sqft 72.6%
Hard Landscape Area	33.72 sqft
Soft Landscaping Area	56.3 sqft 62.54%

Rear Yard Area	1652.05 sqft
Hard Landscape	705.92 sqft
Soft Landscape(Pool Included)	946.13 sqft 57.27%

DRIVE WAY SOFT LANDSCAPE HARD LANDSCAPE

EST GRADE= $\frac{100.46+100.32}{2}$ =100.39

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PROJECT:  
33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: SITE PLAN & SITE STATISTICS

SCALE: 1/16"=1'

PAPER SIZE: 11"x17"

**Hirman**  
Hirman Architects  
46 MCCALLUM DRIVE  
RICHMOND HILL, ON. L4C 7S8  
TEL: 647 4013922  
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ISSUED FOR	
ZAP	2023-12-22
COA	2024-02-22
REVISED	2024-03-23
REVISED	2024-04-10
PERMIT	2024-05-13
REVISED	2024-06-13
REVISED	2024-07-12

A0

ALL NEW WALLS TO BE INSULATED AS PER EEDS

Wall/Ceiling Insulation: R-60  
Ceiling without attic: R-31  
Exposed Floor: R-24  
Exterior wall above grade: R-20  
Basement wall: R-20  
Foundation > 50% Exposed: R-20  
Slab on Grade: R-10  
Supply Ducts in unheated space: R-12

ALL CONSTRUCTION ASSEMBLIES SHALL PROVIDE THE REQUIRED THERMAL PROPERTIES COMPLY WITH THE SUBMITTED EEDS FORM.

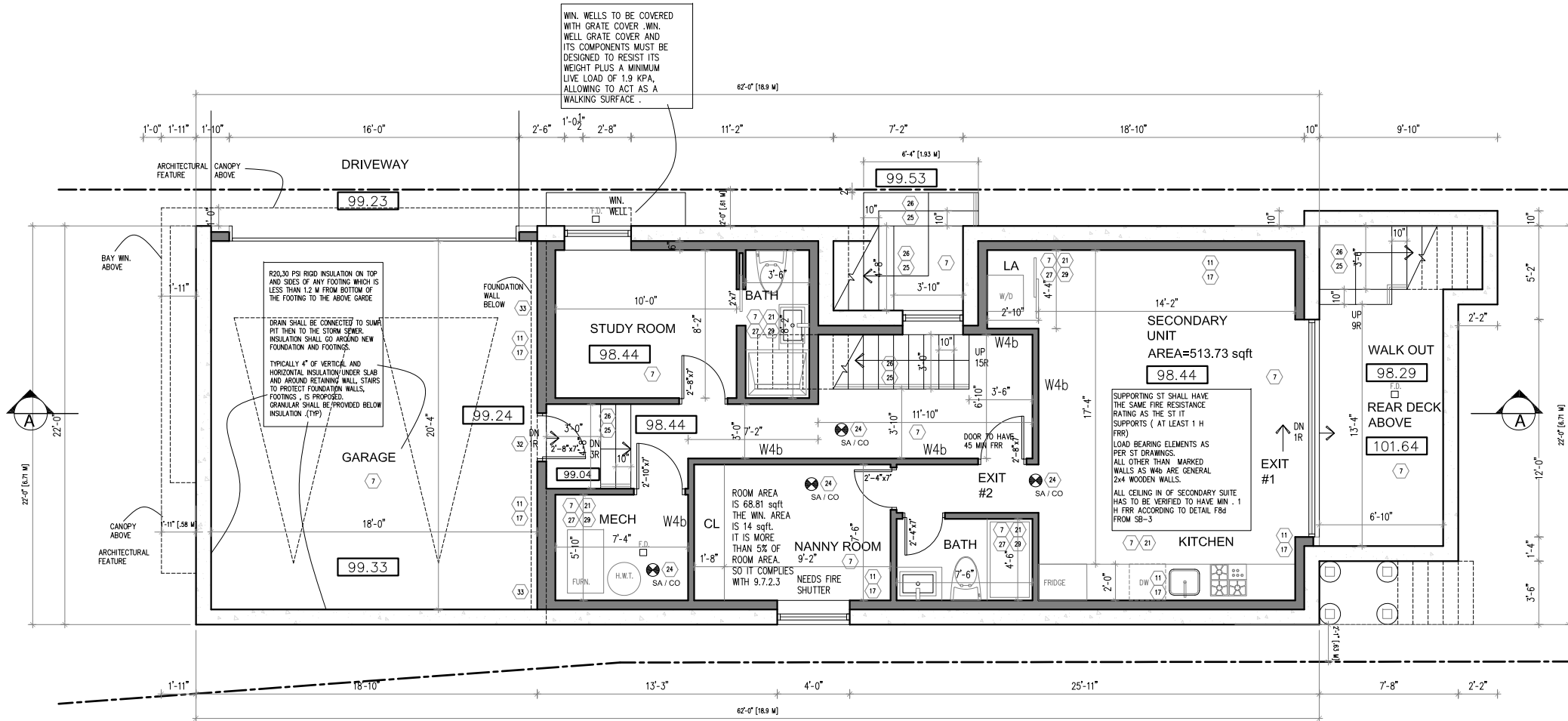
TALL WALL CONSTRUCTION: 2 STOREY WALL 2-2x6@12" OC WITH SOLID BLOCKING @ 4' OC AND 3" PLYWOOD SCREWED TO DOUBLE STUDS USING 2 1/2" SCREWS@ 12" STAGGERED

WHEN THE OPENING MUST BE PROTECTED BY FIRE SHUTTER, IT HAS TO HAVE MIN. 45 MIN FIRE PROTECTION RATING 9-10-15-4(4) MODEL FPCF, THE FIRE SHUTTER MUST COMPLY WITH CAN/ULC -S104 PROVISIONS MUST BE MADE FOR FIRE SHUTTER TO BE INSTALLED ON THE INTERIOR FACE OF THE WALL SO THAT THE FIRE SHUTTER BE IN THE SAME PLANE WITH THE 5/8" TYPE "X" DRYWALL.

ALL FLOORS OR FLAT ROOFS IN CONTACT WITH OUTSIDE TO FILLED WITH R-31 FOAM, NO NEED TO BE VENTILATED

ALL DOOR SIZES ARE CLEAR OPENING

FLAT ROOF PARAPET WALL AS PER ELEV. 2% SLOPE TO DRAIN, SOUPPER & R/WL. SINGLE PLY EPDM RUBBER ROOFING MEMBRANE INSTALLED AS PER MANUF. SPECS. ON 1/2" THK. EXT. GRADE PLYWD. SHEATHING ON TAPERED 2x6 STRAPPING (Laid Flat) @ 16" OCS. FOR 2% DRAINAGE SLOPE (TYP.) ON ROOF JOISTS AS SPECIFIED MIN 2" /2-LBS SPRAY FOAM INSULATION BETWEEN JOISTS TO COMPLY WITH R-31. NO NEED TO VENTILATION. FOAM INSULATION IN CONFORMANCE WITH CAN/ULC-S705.1, THERMAL INSULATION-SPRAY APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY"



TYPES OF WALL ASSEMBLY ACCORDING TO TABLE 1 - SB-3 SUPPLEMENTARY STANDARD 2012 BUILDING CODE :

LOAD BEARING WALLS ARE PER ST DRAWINGS

AN IN-DUCT STYLE SMOKE DETECTOR IS REQUIRED FOR FURNACE TO SERVE ALL UNITS

TYPES OF FLOOR ASSEMBLY ACCORDING TO TABLE 2 - SB-3 SUPPLEMENTARY STANDARD 2012 BUILDING CODE :

W4b

F9g

(DETAIL W4b FROM TABLE 1-SB3) WOOD STUD, SINGLE ROW /NON-LOAD BEARING OR LOAD BEARING /38MM X 89MM WOOD STUDS SPACED 610MM OC., 89MM THICK ABSORPTIVE MATERIAL, RESILIENT METAL CHANNEL ON ONE SIDE, 2 LAYERS OF 15.9 MM TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE AND 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON THE OTHER SIDE /1 H FRR & 54 STC

(DETAIL F9g FROM TABLE 2-SB3) SUB FLOOR OF 15.9MM PLYWOOD, OSB OR WAFER BOARD ON WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 610 MM OC., ABSORPTIVE MATERIAL IN CAVITY, RESILIENT METAL CHANNELS SPACED 610MM OC., 2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON CEILING SIDE /1 H FRR & 51 STC

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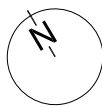
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PROJECT:  
33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: BASEMENT PLAN

SCALE: 1/8"=1'  
PAPER SIZE: 11"x17"



46 MCCALLUM DRIVE  
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EMAIL: hirman.studio@gmail.com



ISSUED FOR	
ZAP	2023-12-22
COA	2024-02-22
REVISED	2024-03-23
REVISED	2024-04-10
PERMIT	2024-05-13
REVISED	2024-06-13
REVISED	2024-07-12

A1

ALL NEW WALLS TO BE INSULATED AS PER EEDS

Wall/Ceiling Insulation	R-40
Ceiling without attic	R-31
Exposed Floor	R-31
Basement wall	R-24
Exterior wall above grade	R-20d
Foundation > 50% Exposed	R-20
Slabs on Grade	R-10
Supply Ducts in unheated space	R-12

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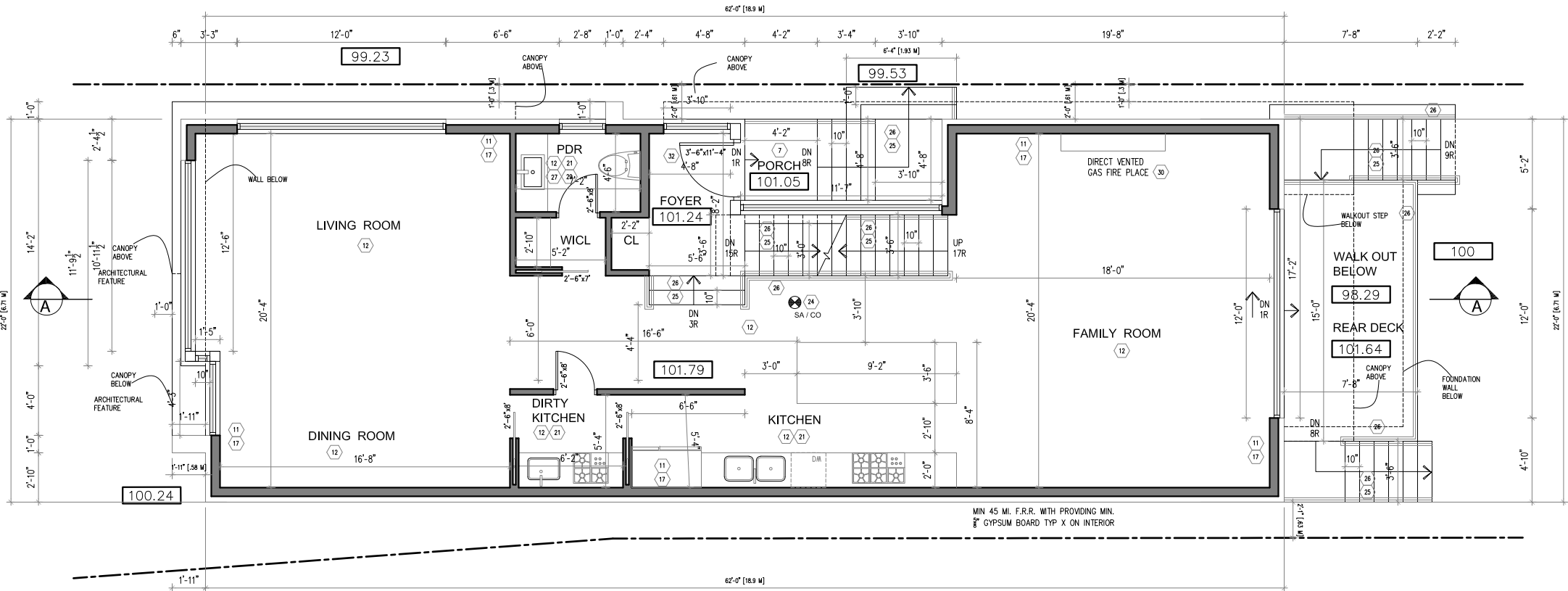
TALL WALL CONSTRUCTION: 2 STOREY WALL 2-2x6@12" OC WITH SOLID BLOCKING @ 4' OC AND 5/8" PLYWOOD SCREWED TO DOUBLE STUDS USING 2 1/2" SCREWS@ 12" STAGGERED

WHEN THE OPENING MUST BE PROTECTED BY FIRE SHUTTER, IT HAS TO HAVE MIN. 45 MIN FIRE PROTECTION RATING 9-10-15-4(4) MODEL FPCF, THE FIRE SHUTTER MUST COMPLY WITH CAN/ULC -S104 PROVISIONS MUST BE MADE FOR FIRE SHUTTER TO BE INSTALLED ON THE INTERIOR FACE OF THE WALL SO THAT THE FIRE SHUTTER BE IN THE SAME PLANE WITH THE 5/8" TYPE "X" DRYWALL.

ALL FLOORS OR FLAT ROOFS IN CONTACT WITH OUTSIDE TO FILLED WITH R-31 FOAM, NO NEED TO BE VENTILATED

ALL DOOR SIZES ARE CLEAR OPENING

FLAT ROOF PARAPET WALL AS PER ELEV. 2% SLOPE TO DRAIN, SCUPPER & R.W. SINGLE PLY EPDM RUBBER ROOFING MEMBRANE INSTALLED AS PER MANUF. SPECS. ON 1/2" THK. EXT. GRADE PLYWD. SHEATHING ON TAPERED 2x6 STRAPPING (LAID FLAT) @ 16" OCS. FOR 2% DRAINAGE SLOPE (TYP.) ON ROOF JOISTS AS SPECIFIED MIN 2" / 2-LBS SPRAY FOAM INSULATION BETWEEN JOISTS TO COMPLY WITH R-31. NO NEED TO VENTILATION. FOAM INSULATION IN CONFORMANCE WITH CAN/ULC-S705.1, "THERMAL INSULATION-SPRAY APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY"



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PROJECT:  
33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: MAIN FLOOR PLAN

SCALE: 1/8"=1'  
PAPER SIZE: 11"x17"



46 MCCALLUM DRIVE  
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ISSUED FOR

ZAP	2023-12-22
COA	2024-02-22
REVISED	2024-03-23
REVISED	2024-04-10
PERMIT	2024-05-13
REVISED	2024-06-13
REVISED	2024-07-12

A2

ALL NEW WALLS TO BE INSULATED AS PER EEDS

Wall/Ceiling Insulation	R-40
Ceiling without attic	R-31
Exposed Floor	R-31
Exterior wall above grade	R-24
Basement wall	R-20d
Foundation > 50% Exposed	R-20
Slabs on Grade	R-10
Supply Ducts in unheated space	R-12

ALL CONSTRUCTION ASSEMBLIES SHALL PROVIDE THE REQUIRED THERMAL PROPERTIES COMPLY WITH THE SUBMITTED EEDS FORM.

TALL WALL CONSTRUCTION: 2 STOREY WALL 2-2x6 @ 12" OC WITH SOLID BLOCKING @ 4' OC AND 3/4" PLYWOOD SCREWED TO DOUBLE STUDS USING 2 1/2" SCREWS @ 12" STAGGERED

WHEN THE OPENING MUST BE PROTECTED BY FIRE SHUTTER, IT HAS TO HAVE MIN. 45 MIN FIRE PROTECTION RATING 9-10-15-4(4) MODEL FPCF, THE FIRE SHUTTER MUST COMPLY WITH CAN/ULC -S104 PROVISIONS MUST BE MADE FOR FIRE SHUTTER TO BE INSTALLED ON THE INTERIOR FACE OF THE WALL SO THAT THE FIRE SHUTTER BE IN THE SAME PLANE WITH THE 5/8" TYPE 'X' DRYWALL.

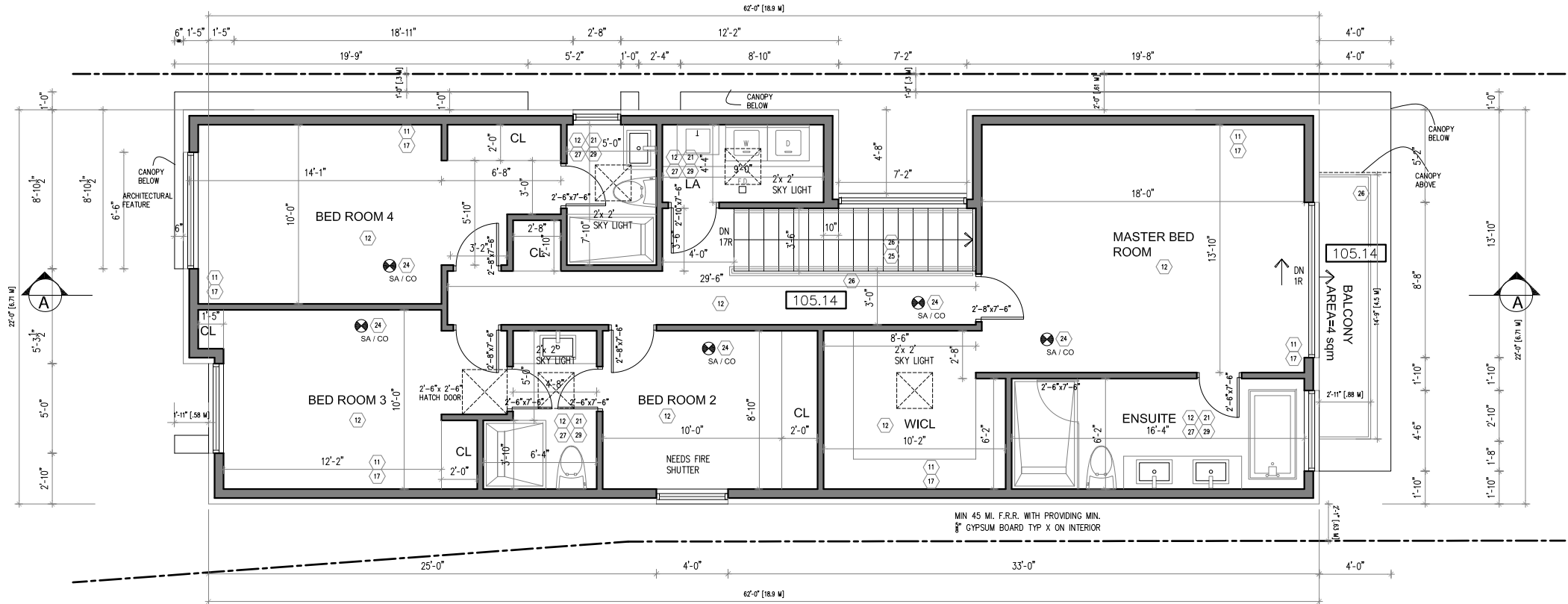
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ALL DOOR SIZES ARE CLEAR OPENING

FLAT ROOF PARAPET WALL AS PER ELEV. 2% SLOPE TO DRAIN, SCUPPER & RWL

SINGLE PLY EPDM RUBBER ROOFING MEMBRANE INSTALLED AS PER MANUF. SPECS. ON 1/2" THK. EXT. GRADE PLYWD. SHEATHING ON TAPERED 2x6 STRAPPING (LAID FLAT) @ 16" OCS. FOR 2% DRAINAGE SLOPE (TYP.) ON ROOF JOISTS AS SPECIFIED

MIN 2 1/2" LBS SPRAY FOAM INSULATION BETWEEN JOISTS TO COMPLY WITH R-31. NO NEED TO VENTILATE. FOAM INSULATION IN CONFORMANCE WITH CAN/ULC-S705.1, THERMAL INSULATION-SPRAY APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY



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PROJECT:

33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: SECOND FLOOR PLAN

SCALE: 1/8"=1'

PAPER SIZE: 11"x17"

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Hirman Architects

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TEL: 647 4013922  
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ISSUED FOR

ZAP	2023-12-22
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REVISED	2024-03-23
REVISED	2024-04-10
PERMIT	2024-05-13
REVISED	2024-06-13
REVISED	2024-07-12

A3

WHEN THE OPENING MUST BE PROTECTED BY FIRE SHUTTER, IT HAS TO HAVE MIN. 45 MIN FIRE PROTECTION RATING 9-10-15-4(4)  
MODEL FPCF, THE FIRE SHUTTER MUST COMPLY WITH CAN/ULC -S104  
PROVISIONS MUST BE MADE FOR FIRE SHUTTER TO BE INSTALLED ON THE INTERIOR FACE OF THE WALL SO THAT THE FIRE SHUTTER BE IN THE SAME PLANE WITH THE 5/8" TYPE "X" DRYWALL.

FLAT ROOF  
PARAPET WALL AS PER  
ELEV. 2% SLOPE TO DRAIN,  
SCUPPER & R/WL

SINGLE PLY EPDM RUBBER  
ROOFING  
MEMBRANE INSTALLED AS PER  
MANUF. SPECS. ON 1/2" THK.  
EXT. GRADE PLYWD.

2"X6" ON TAPERED 2x6 STRAPPING  
(LAID FLAT) @ 16" OCS.  
FOR 2% DRAINAGE SLOPE  
(TYP.)

ON ROOF JOISTS AS SPECIFIED

MIN2 7/2-LBS SPRAY FOAM  
INSULATION BETWEEN  
JOISTS TO COMPLY WITH  
R-31 NO NEED TO  
VENTILATION .FOAM  
INSULATION WITH  
CONFORMANCE WITH  
UL-754, STG5.1, THERMAL  
INSULATION-SPRAY APPLIED  
RIGID POLYURETHANE FOAM,  
MEDIUM DENSITY"

TOTAL ROOF AREA =1676.15 SQFT  
ROOF AREA WITH THE SLOPE LESSER THAN 1/10 =601.23 SQFT (35.86%)

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PROJECT:  
33 RANDOLPH ROAD

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ARCHITECTURAL DESIGN

DRAWING TITLE:      ROOF   PLAN

SCALE:      1/8"=1'

PAPER SIZE: 11"x17"



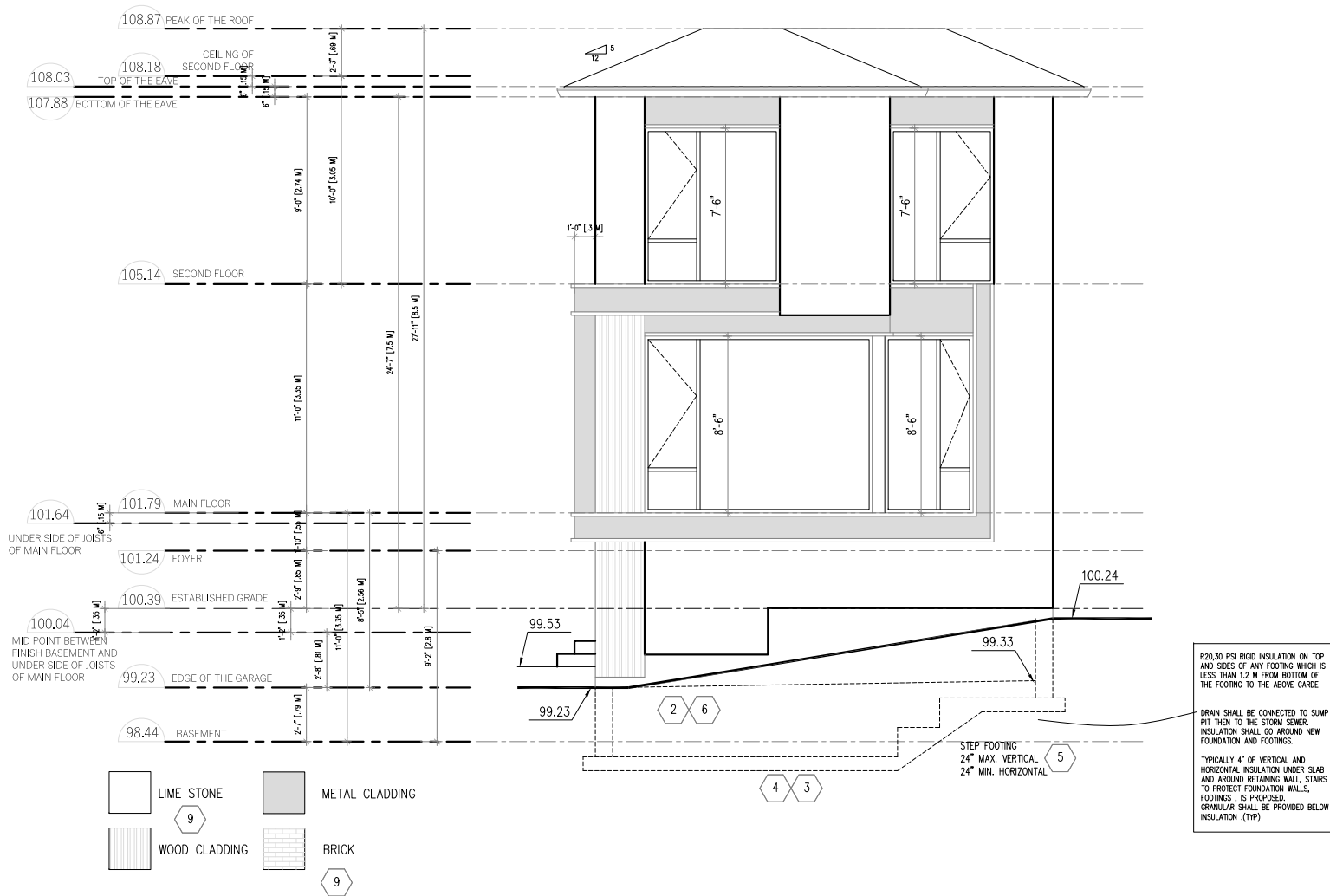
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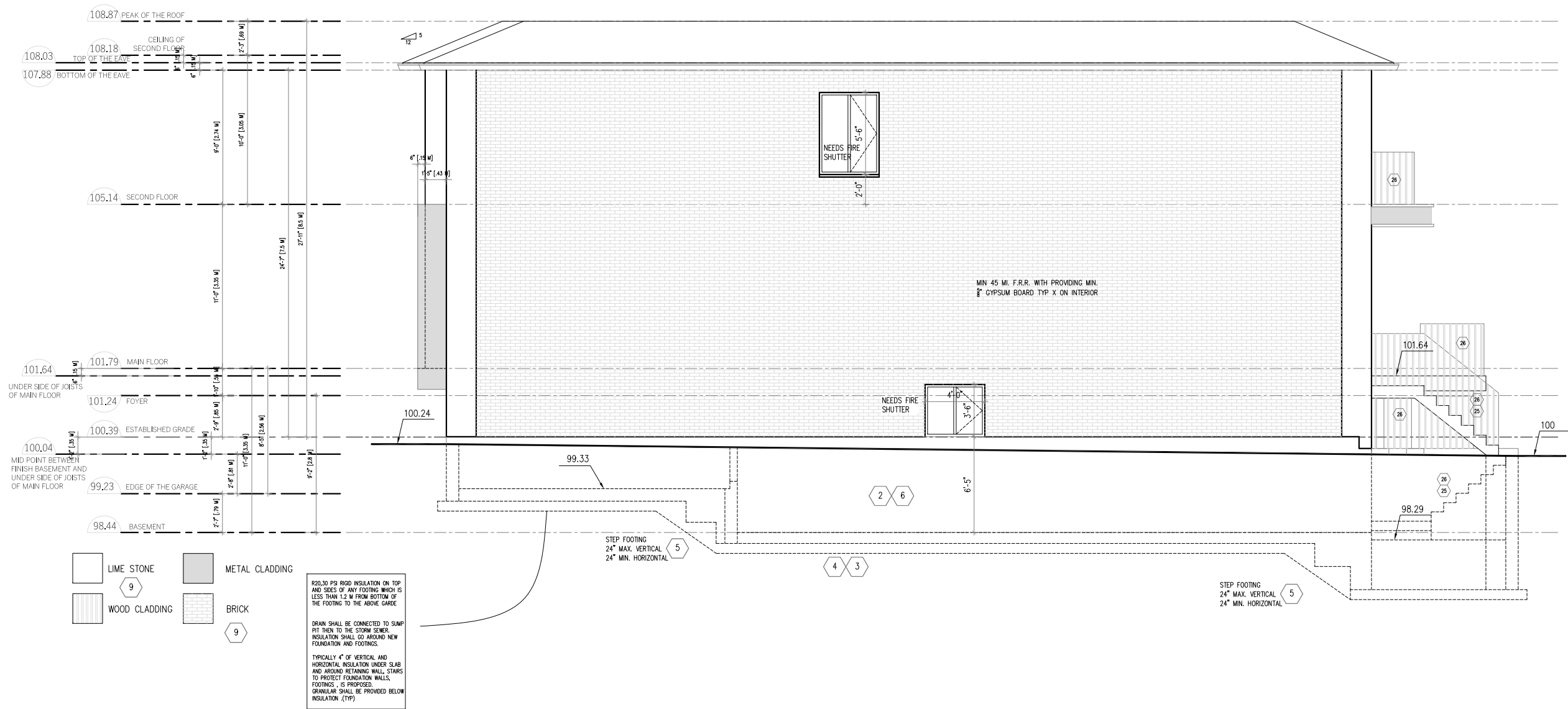
**A4**



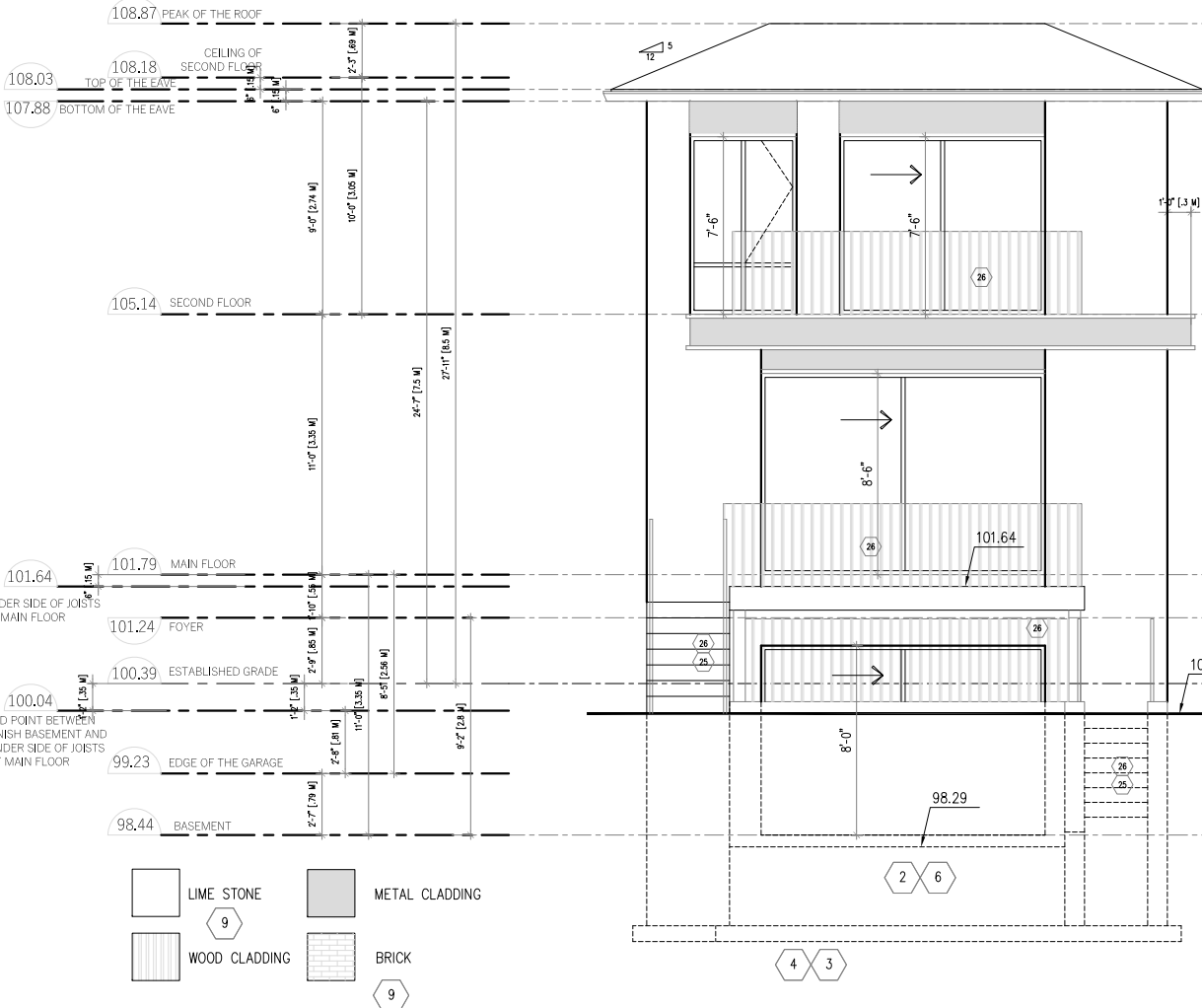


ENERGY EFFICIENCY CALCS. (AS PER OBC SB-12 3.1.1.2.A)						
	FRONT [W]	SIDE [S]	REAR [E]	SIDE [N]	SKYLITES	TOTALS
AREA OF WALLS	590.92 sq.ft	1606.35 sq.ft	672.91 sq.ft	1752.42 sq.ft	-	4622.6 sq.ft
TOTAL OPENINGS (INCL. SKYLITES)	222.6 sq.ft.	36 sq.ft.	296.75 sq.ft.	384.47 sq.ft.	16 sq.ft.	955.82 sq.ft. (20.67 %)

ENERGY EFFICIENCY COMPLIANCE OPTION
SB-12 PRESCRIPTIVE (ZONE 1, COMPLIANCE PACKAGE A1, AFUE 96% MAX. U-VALUE = 1.4 FOR WINDOWS & SLIDING GLASS DOORS AS PER OBC SB-12 3.1.1.2.A

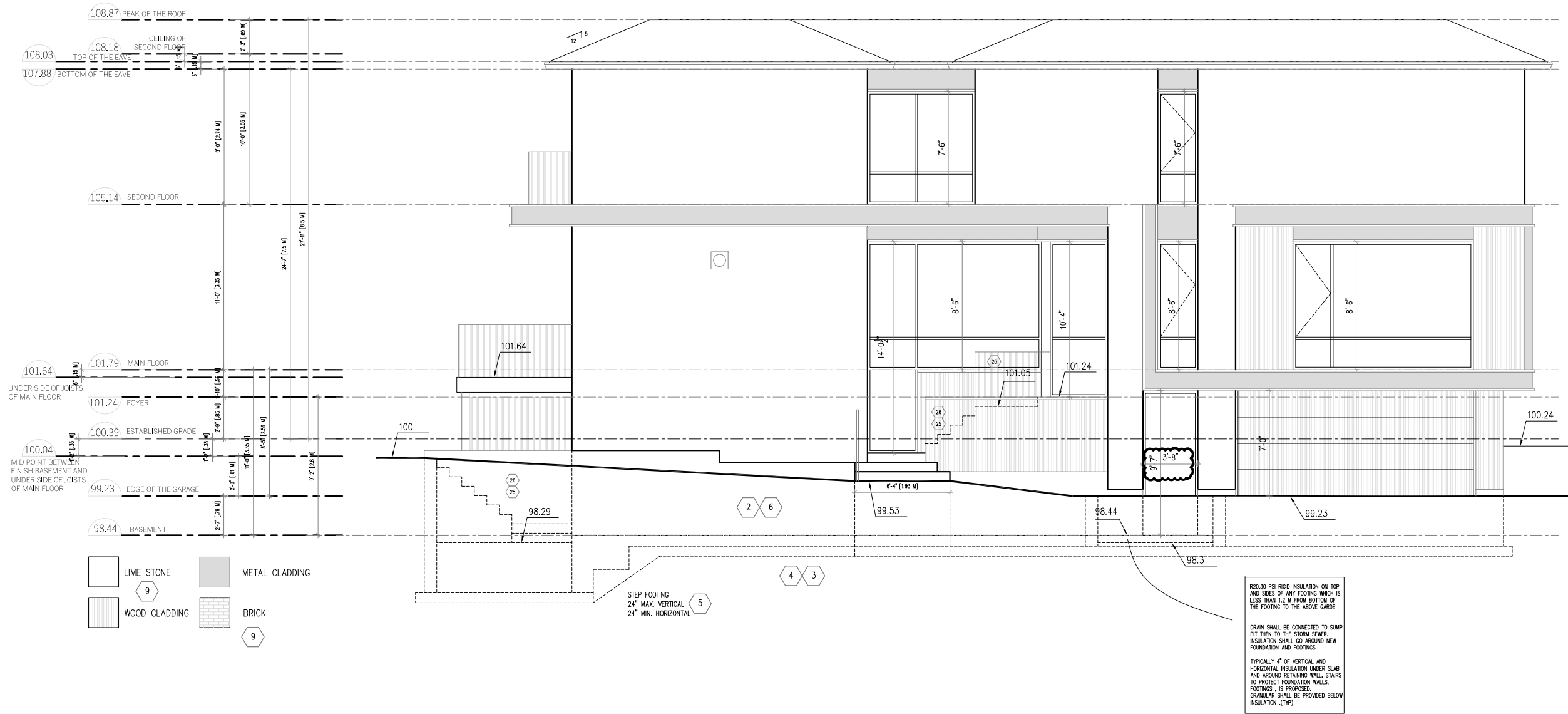


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PERMIT	2024-05-13																						
REVISED	2024-06-13																						
REVISED	2024-07-12																						



**A7**

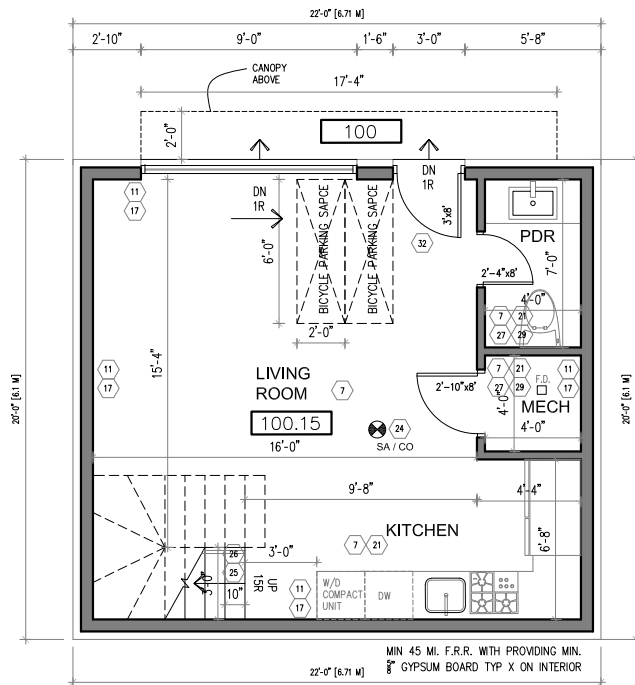




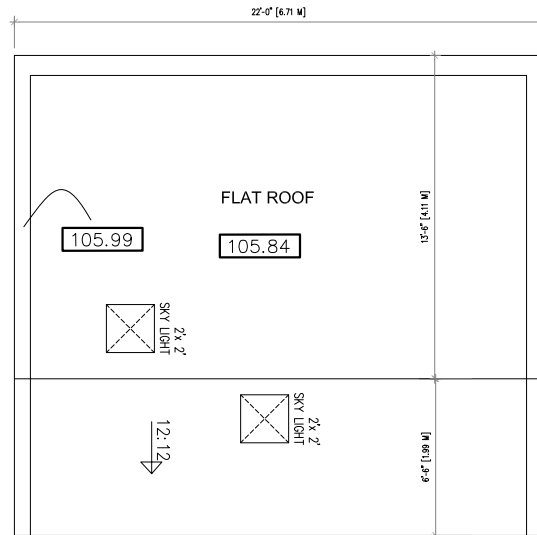
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	<div>ARCHITECTURAL DESIGN</div>	<div>SCALE:</div> <div>1/8"=1'</div>			<div>PAPER SIZE:</div> <div>11"x17"</div>	



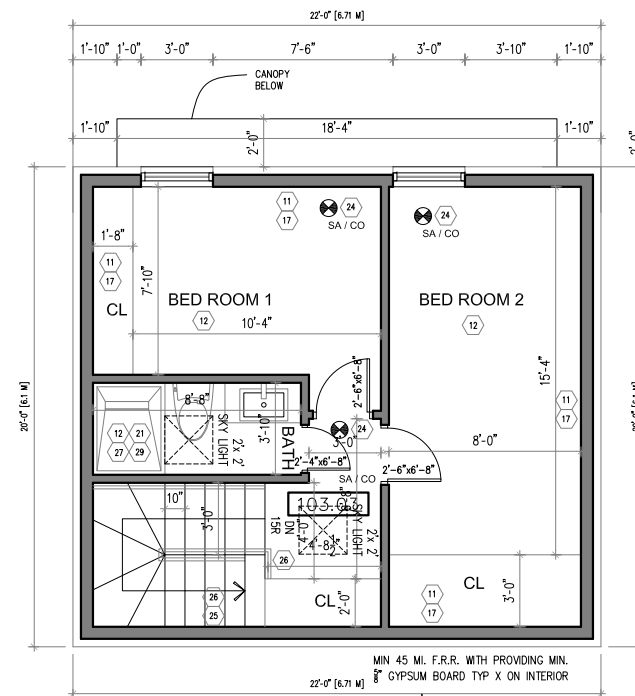
## A10



MAIN FLOOR

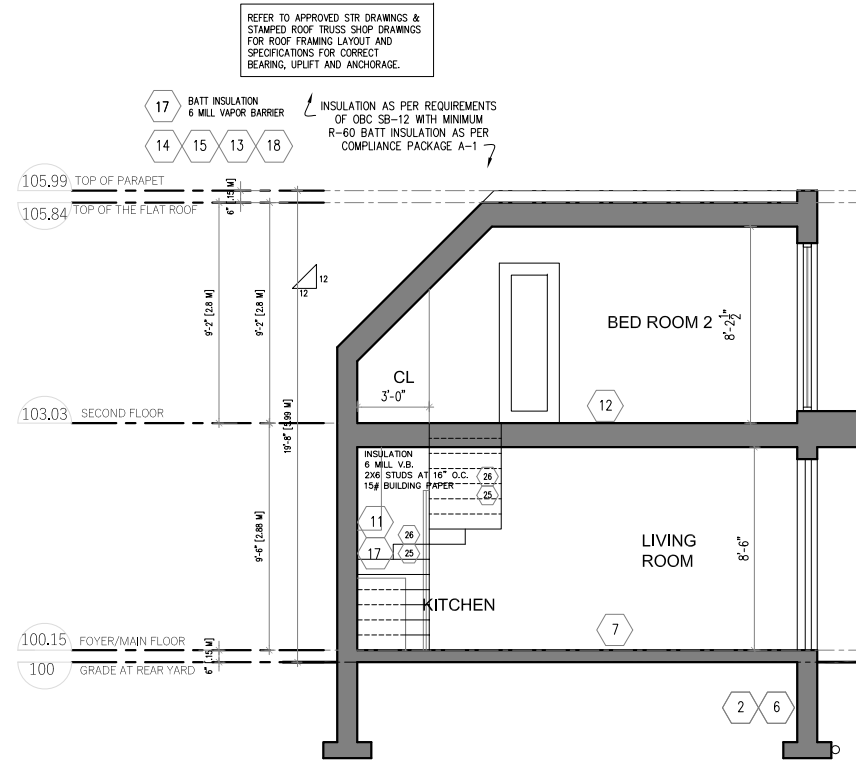


ROOF



SECOND FLOOR

- ALL NEW WALLS TO BE INSULATED AS PER MMAH-SB12
- Wall/Ceiling Insulation R-60  
Ceiling without attic R-31  
Exposed Floor R-31  
Exterior wall above grade R-22  
Basement wall R-20  
Slabs on Grade R-10  
Supply Ducts in Unheated Space R-12
- TALL WALL CONSTRUCTION: 2 STOREY WALL 2-2x6@12" OC WITH SOLID BLOCKING @ 4" OC AND 8" PLYWOOD SCREWED TO DOUBLE STUDS USING 2 1/2" SCREWS @ 12" STAGGERED
- ALL FLOORS OR FLAT ROOFS IN CONTACT WITH OUTSIDE TO FILLED WITH R-31 FOAM, NO NEED TO BE VENTILATED
- ALL DOOR SIZES ARE CLEAR OPENING
- FLAT ROOF PARAPET WALL AS PER ELEV, 2% SLOPE TO DRAIN, SCUPPER & RWL
- SINGLE PLY EPDM RUBBER ROOFING
- MEMBRANE INSTALLED AS PER MANUF. SPECS. ON 1/2" THK. EXT. GRADE PLYWD.
- SHEATHING ON TAPERED 2x6 STRAPPING (LAID FLAT) @ 16" OCS. FOR 2% DRAINAGE SLOPE (TYP.) ON ROOF JOISTS AS SPECIFIED
- MIN 2" / 2-LBS SPRAY FOAM INSULATION BETWEEN JOISTS TO COMPLY WITH R-31. NO NEED TO VENTILATION. FOAM INSULATION IN CONFORMANCE WITH CAN/ULC-S705.1, "THERMAL INSULATION-SPRAY APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY"



SECTION C

- ALL NEW WALLS TO BE INSULATED AS PER MMAH-SB12
- Wall/Ceiling Insulation R-60  
Ceiling without attic R-31  
Exposed Floor R-31  
Exterior wall above grade R-22  
Basement wall R-20  
Slabs on Grade R-10  
Supply Ducts in Unheated Space R-12
- TALL WALL CONSTRUCTION: 2 STOREY WALL 2-2x6@12" OC WITH SOLID BLOCKING @ 4" OC AND 8" PLYWOOD SCREWED TO DOUBLE STUDS USING 2 1/2" SCREWS @ 12" STAGGERED
- ALL FLOORS OR FLAT ROOFS IN CONTACT WITH OUTSIDE TO FILLED WITH R-31 FOAM, NO NEED TO BE VENTILATED
- ALL DOOR SIZES ARE CLEAR OPENING
- FLAT ROOF PARAPET WALL AS PER ELEV, 2% SLOPE TO DRAIN, SCUPPER & RWL
- SINGLE PLY EPDM RUBBER ROOFING
- MEMBRANE INSTALLED AS PER MANUF. SPECS. ON 1/2" THK. EXT. GRADE PLYWD.
- SHEATHING ON TAPERED 2x6 STRAPPING (LAID FLAT) @ 16" OCS. FOR 2% DRAINAGE SLOPE (TYP.) ON ROOF JOISTS AS SPECIFIED
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REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.

USE ONLY LATEST REVISED DRAWINGS.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGN FIRM BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.

ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2012 O.B.C. (OR 2.17.5.1. OF THE 1997 O.B.C.)

PROJECT:

33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE:

FLOOR PLANS  
SECTION C  
(GARDEN SUITE)

SCALE: 3/16"=1'

PAPER SIZE: 11"x17"

**Hirman**

**Hirman Architects**

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EMAIL: hirman.studio@gmail.com



ISSUED FOR

ZAP 2023-12-22

COA 2024-02-22

REVISED 2024-03-23

REVISED 2024-04-10

PERMIT 2024-05-13

REVISED 2024-06-13

REVISED 2024-07-12

A10

