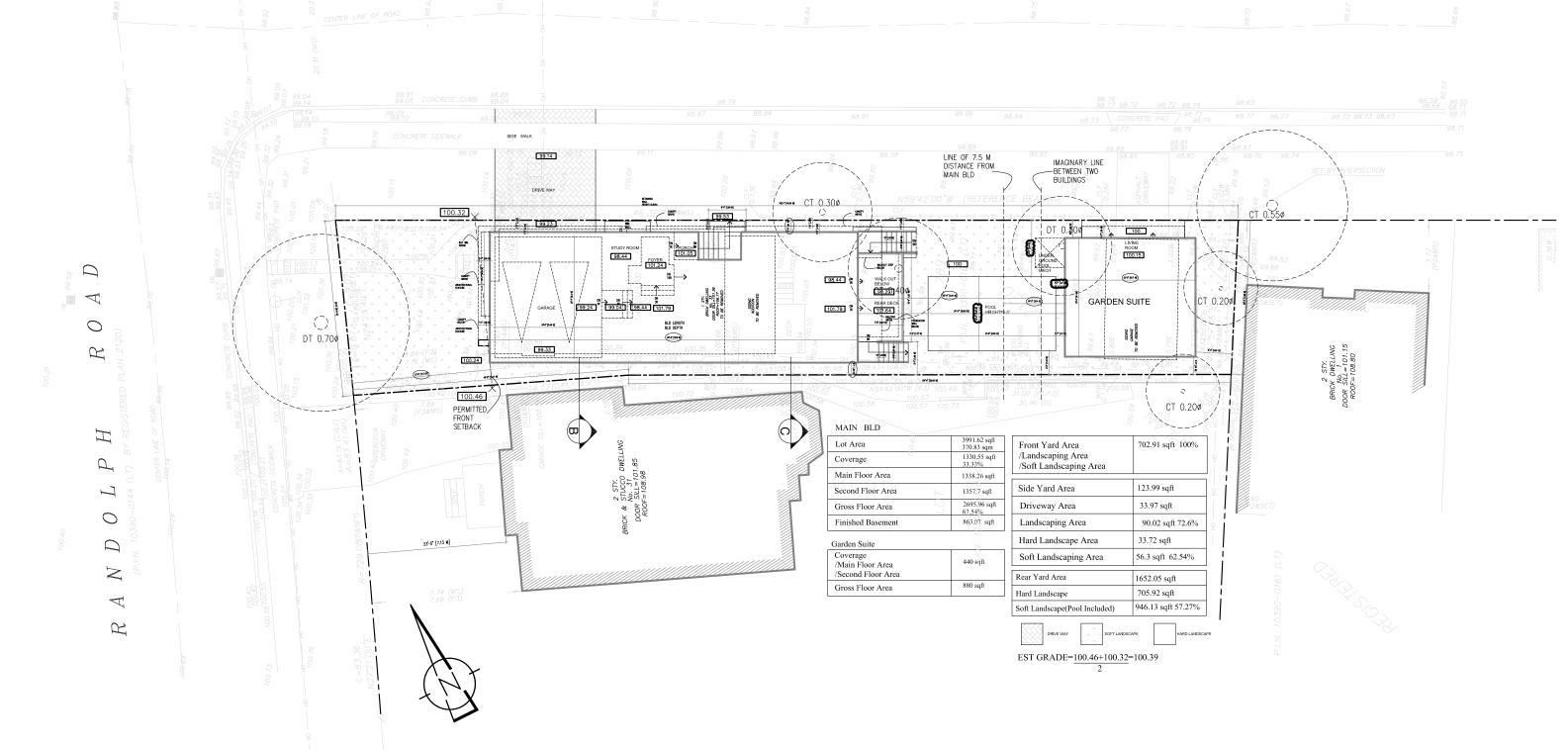
## A.K.A. R U T H E R G L E N



## GENERAL NOTES:

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND

PROJECT:

33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: SITE PLAN & SITE STATISTICS

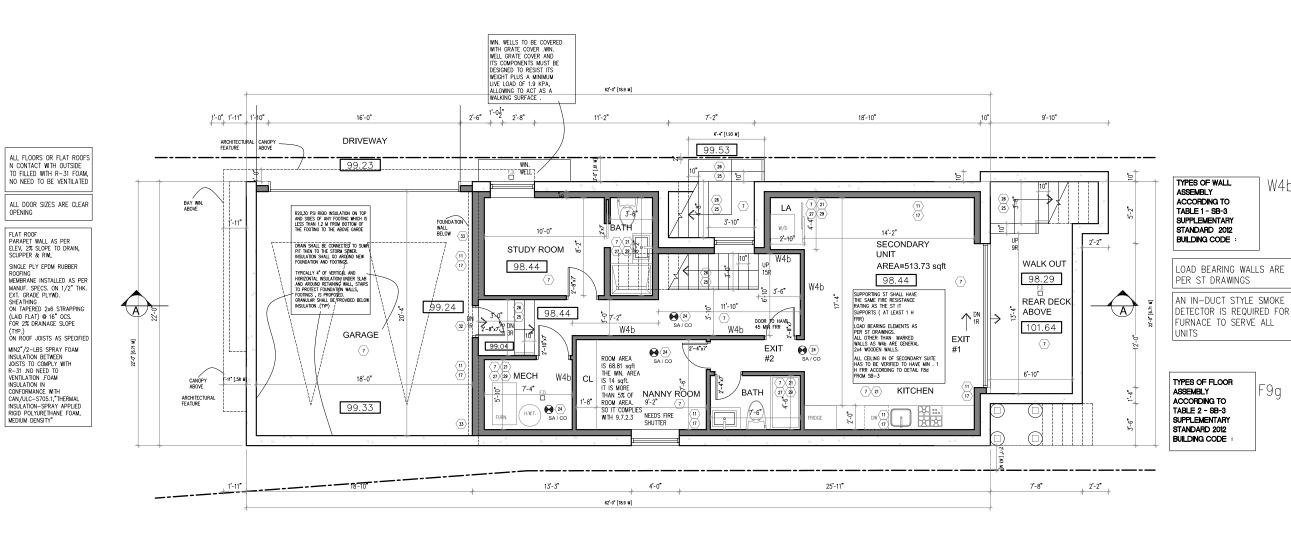
SCALE: 1/16"=1'

PAPER SIZE: 11"x17"



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2023-12-22 2024-02-22 2024-03-23 REVISED 2024-04-10 PERMIT 2024-05-13 REVISED REVISED 2024-06-13 2024**-**07**-**12



(DETAIL W4b FROM TABLE 1-SB3) WOOD STUD, SINGLE ROW /NON-LOAD BEARING OR LOAD BEARING /38MM X 89MM WOOD STUDS SPACED 610MM OC.,89MM THICK ABSORPTIVE MATERIAL, RESILIENT METAL CHANNEL ON ONE SIDE ,2 LAYERS OF 15.9 MM TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE AND 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON THE OTHER SIDE /1 H

(DETAIL F9g FROM TABLE 2-SB3)

FRR & 54 STC

SUB FLOOR OF 15.5MM PLYWOOD,OSB OR WAFER BOARD ON WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 610 MM OC., ABSORPTIVE MATERIAL IN CAVITY.RESILIENT METAL CHANNELS SPACED 610MM OC. ,2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON CEILING SIDE/1 H FRR & 51

## **GENERAL NOTES:**

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ALL NEW WALLS TO BE INSULATED AS PER EEDS

Walt/Celling Insulation
Celling with attic
Celling with attic
Celling without attic
Exposed Floor
Extentor wall above grade
R-246
Foundation > 50% Exposed
R-20
Sabas on Grade
R-10
Supply Ducts in unheated space
R-12

ASSEMBLIES SHALL PROVIDE
THE REQUIRED THERMAL
PROPERTIES COMPLY WITH

THE SUBMITTED EEDS FORM.

TALL WALL CONSTLICTION: 2

STOREY WALL 2-2x6@12"

WITH SOLID BLOCKING @ 4'

USING 2 ½" SCREWS@ 12" STAGGERED

WHEN THE OPENING MUST BE

PROTECTED BY FIRE
SHUTTER, IT HAS TO HAVE
MIN. 45 MIN FIRE
PROTECTION RATING

SHUTTER MUST COMPLY WITH

CAN/ULC -S104 PROVISIONS MUST BE MADE

INSTALLED ON THE INTERIOR
FACE OF THE WALL SO THAT
TEH FIRE SHUTTER BE IN

THE SAME PLANE WITH THE

5/8" TYPE "x" DRYWALL

FOR FIRE SHUTTER TO BE

9-10-15-4(4) MODEL FPCF, THE FIRE

SCREWED TO DOUBLE STUDS

OC AND §" PLYWOOD

ALL CONSTRUCTION

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PROJECT: 33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

SCALE: 1/8"=1" PAPER SIZE: 11"x17"

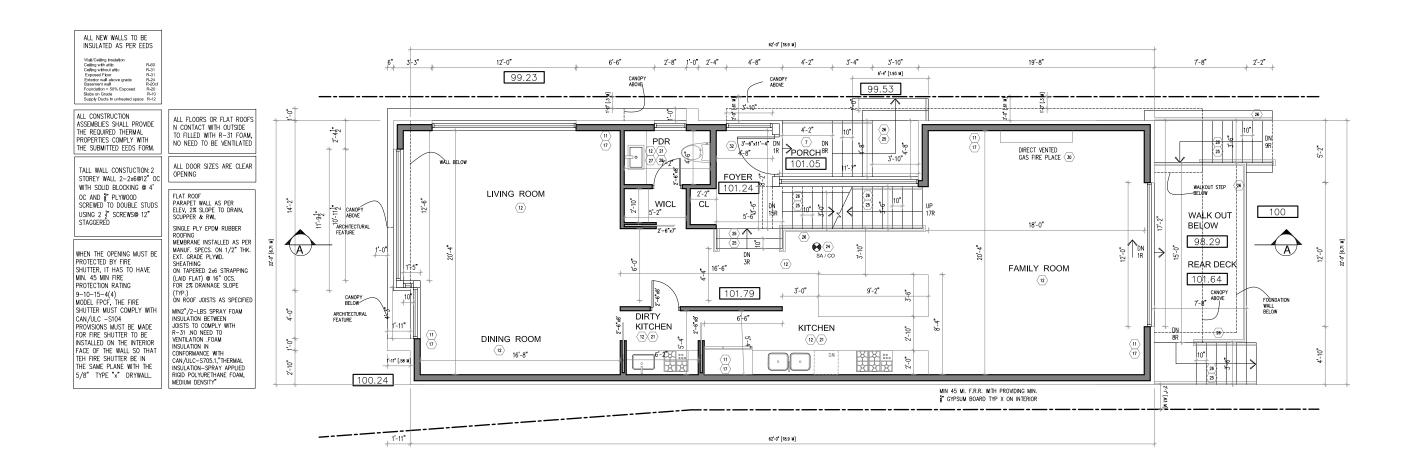
DRAWING TITLE: BASEMENT PLAN



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4

PROJECT:
33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: MAIN FLOOR PLAN

SCALE: 1/8"=1'
PAPER SIZE: 11"x17"





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 2024-02-22

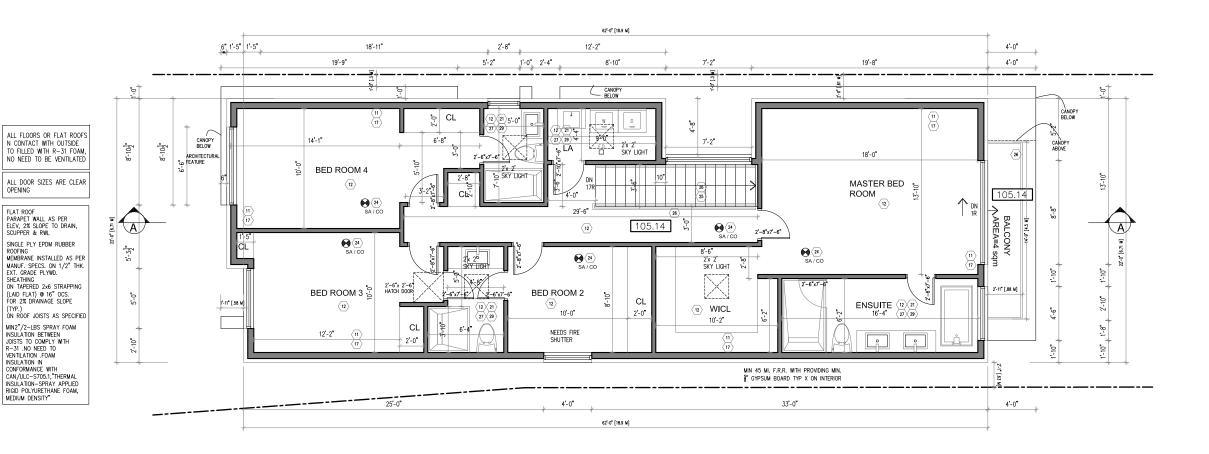
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 2024-05-13

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 2024-06-13

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 2024-07-12



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ALL NEW WALLS TO BE INSULATED AS PER EEDS

 Wall/Ceiling Insulation
 R-80

 Ceiling with attic
 R-31

 Ceiling with attic
 R-31

 Exposed Floor
 R-31

 Exposed Floor
 R-31

 Extentor wall above grade
 R-24

 R-24
 R-24

 Foundation > 50% Exposed
 R-26

 Slabs on Grade
 R-21

 Supply Ducts in unheated space
 R-12

ASSEMBLIES SHALL PROVIDE THE REQUIRED THERMAL PROPERTIES COMPLY WITH THE SUBMITTED EEDS FORM.

TALL WALL CONSTUCTION: 2 STOREY WALL 2-2x6@12" O

WITH SOLID BLOCKING @ 4' OC AND \$" PLYWOOD
SCREWED TO DOUBLE STUDS
USING 2 1" SCREWS@ 12"
STAGGERED

WHEN THE OPENING MUST BE PROTECTED BY FIRE
SHUTTER, IT HAS TO HAVE
MIN. 45 MIN FIRE
PROTECTION RATING

9-10-15-4(4)
MODEL FPCF, THE FIRE
SHUTTER MUST COMPLY WITH

CAN/ULC -S104 PROVISIONS MUST BE MADE

FOR FIRE SHUTTER TO BE INSTALLED ON THE INTERIOR FACE OF THE WALL SO THAT TEH FIRE SHUTTER BE IN

THE SAME PLANE WITH THE 5/8" TYPE "x" DRYWALL.

ALL CONSTRUCTION

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PROJECT: 33 RANDOLPH ROAD

SCALE: 1/8"=1' ARCHITECTURAL DESIGN

DRAWING TITLE:

PAPER SIZE: 11"x17"

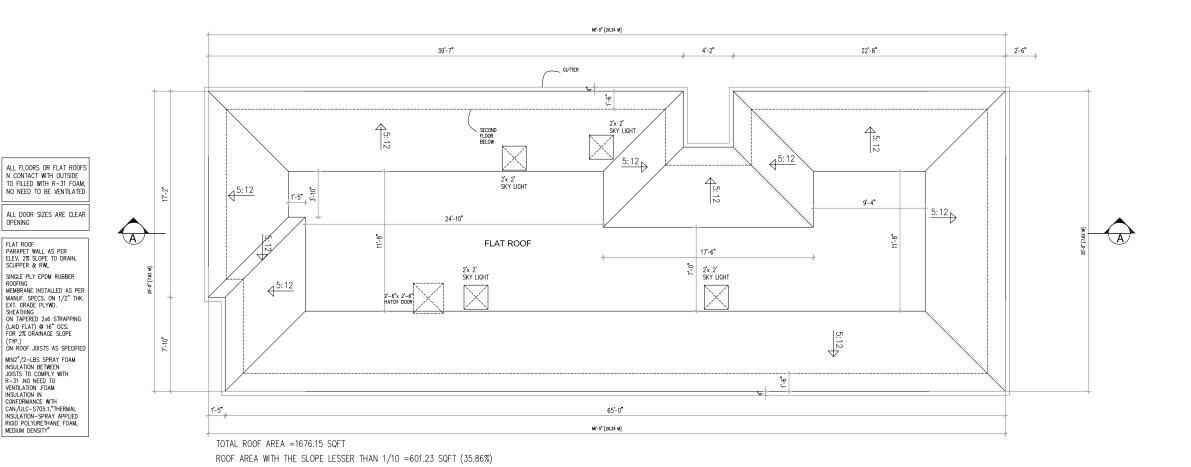
SECOND FLOOR PLAN



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ALL CONSTRUCTION
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THE REQUIRED THERMAL
PROPERTIES COMPLY WITH
THE SUBMITTED EEDS FORM.

TALL WALL CONSTUCTION: 2

STOREY WALL 2-2x6@12" ( WITH SOLID BLOCKING @ 4'

OC AND §" PLYWOOD SCREWED TO DOUBLE STUDS

USING 2 ½" SCREWS@ 12" STAGGERED

WHEN THE OPENING MUST BE PROTECTED BY FIRE SHUTTER, IT HAS TO HAVE MIN. 45 MIN FIRE PROTECTION RATING

9-10-15-4(4)
MODEL FPCF, THE FIRE
SHUTTER MUST COMPLY WITH

SHUTTER MUST COMPLY WITH CAN/ULC - STO4
PROVISIONS MUST BE MADE FOR FIRE SHUTTER TO BE INSTALLED ON THE INTERIOR FACE OF THE WALL SO THAT TEH FIRE SHUTTER BE IN THE SAME PLANE WITH THE 5/8" TYPE "x" DRYWALL.

OPENING

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PROJECT: 33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: ROOF PLAN

SCALE: 1/8"=1' PAPER SIZE: 11"x17"

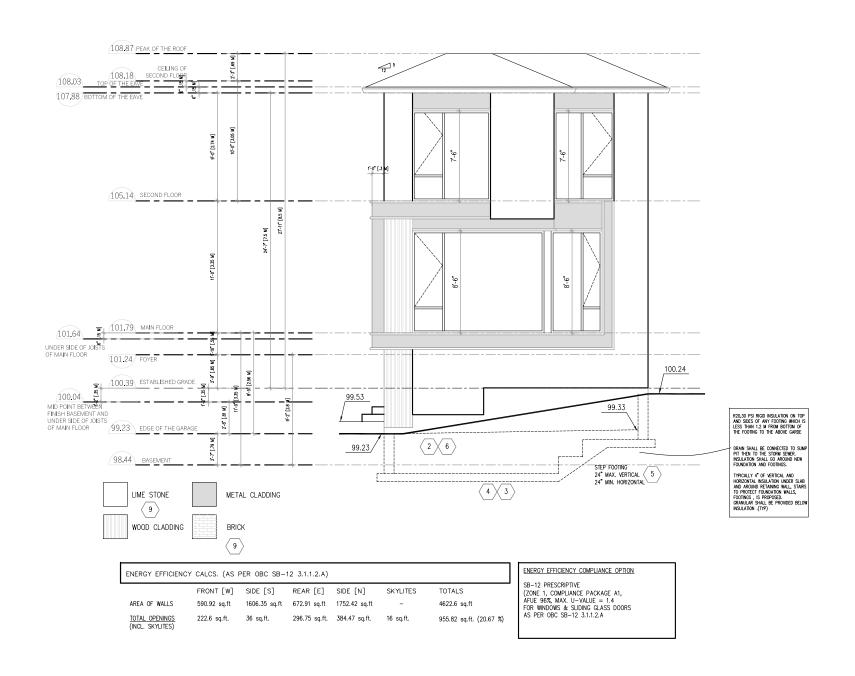


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PROJECT: 33 RANDOLPH ROAD

DRAWING TITLE: MAIN (WEST ) ELEVATION

PAPER SIZE: 11"x17"

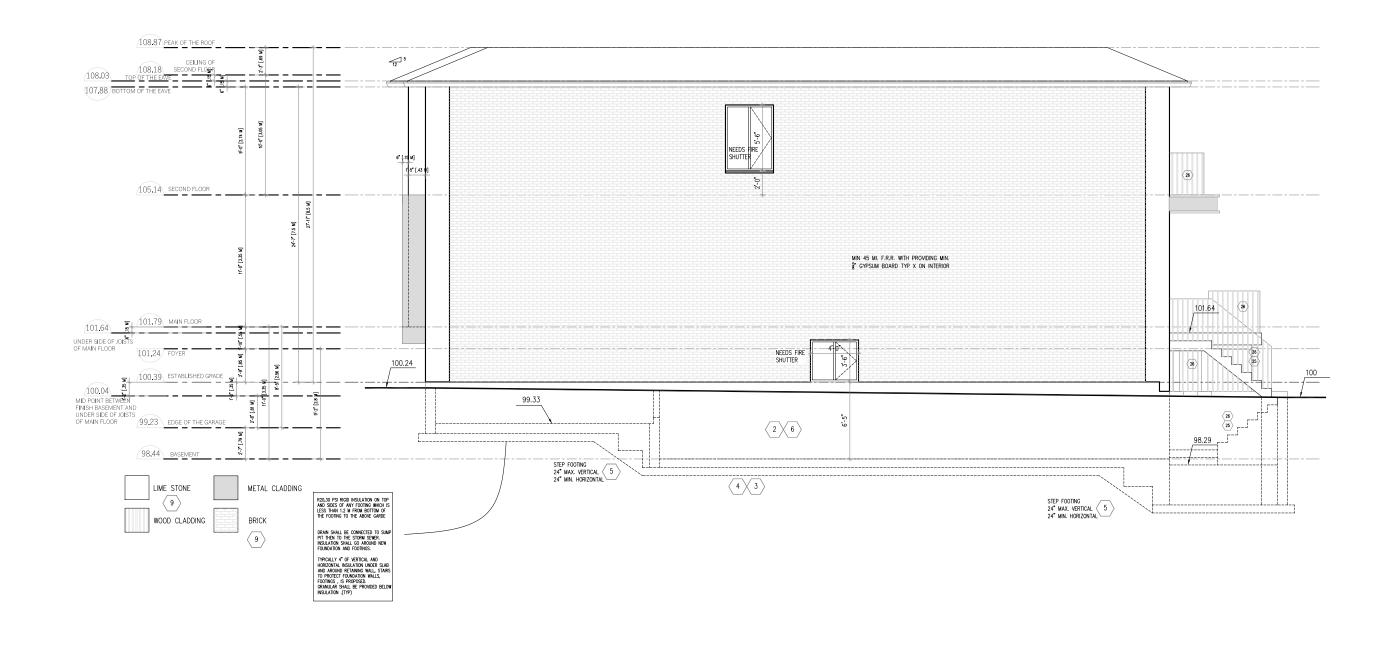
SCALE: 1/8"=1' ARCHITECTURAL DESIGN



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PROJECT:
33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: SIDE (SOUTH ) ELEVATION

SCALE: 1/8"=1'
PAPER SIZE: 11"x17"



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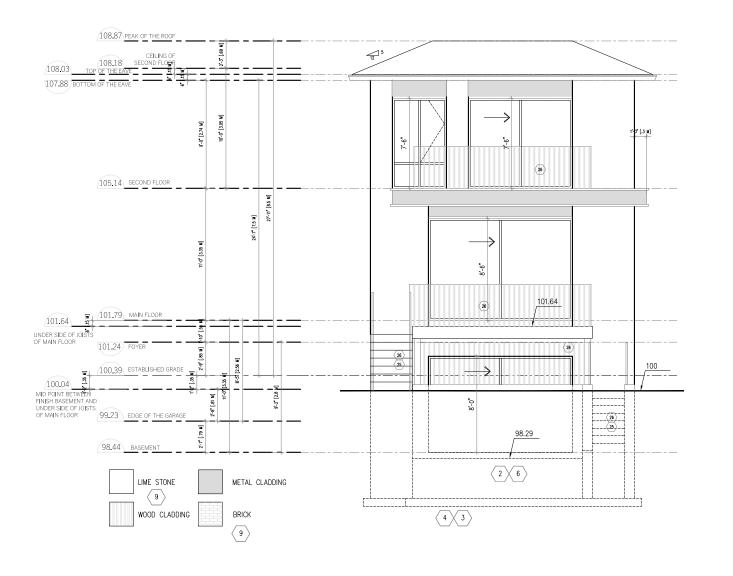
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33 RANDOLPH ROAD

PROJECT:

ARCHITECTURAL DESIGN

DRAWING TITLE: REAR ( EAST ) ELEVATION

SCALE: 1/8"=1' PAPER SIZE: 11"x17"

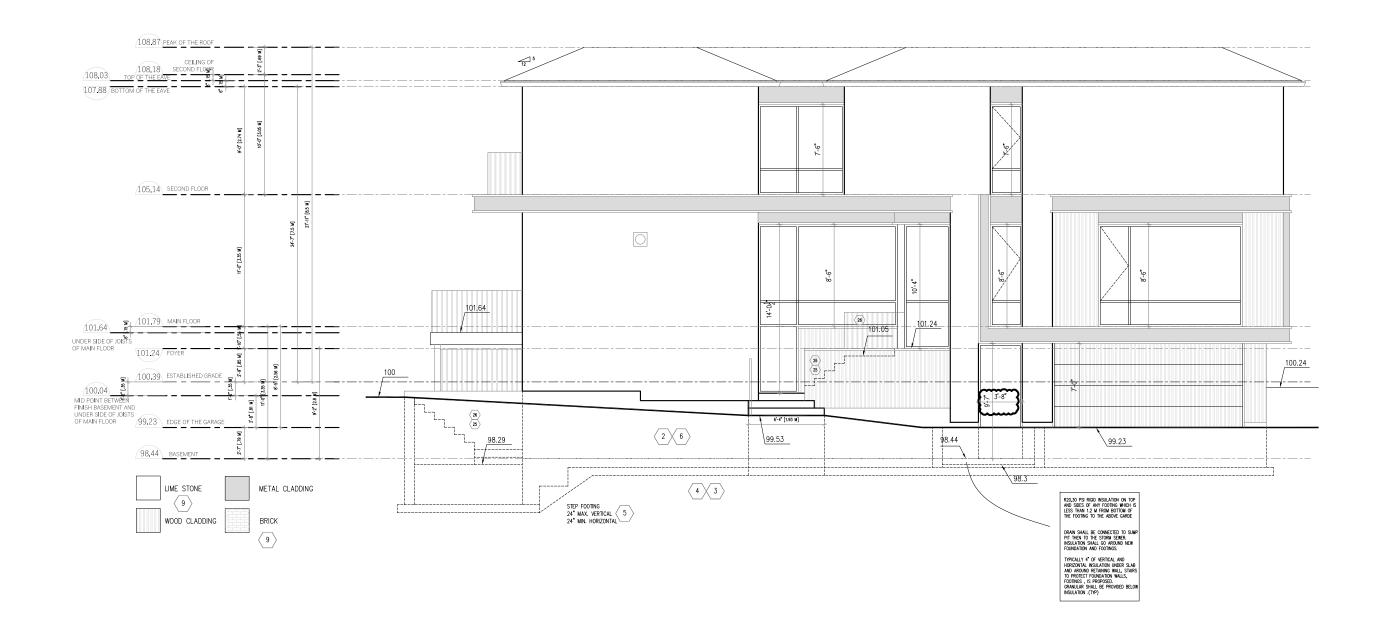




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PROJECT:
33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: SIDE ( NORTH) ELEVATION

SCALE: 1/8"=1'

PAPER SIZE: 11"x17"



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ARCHITECTS Z

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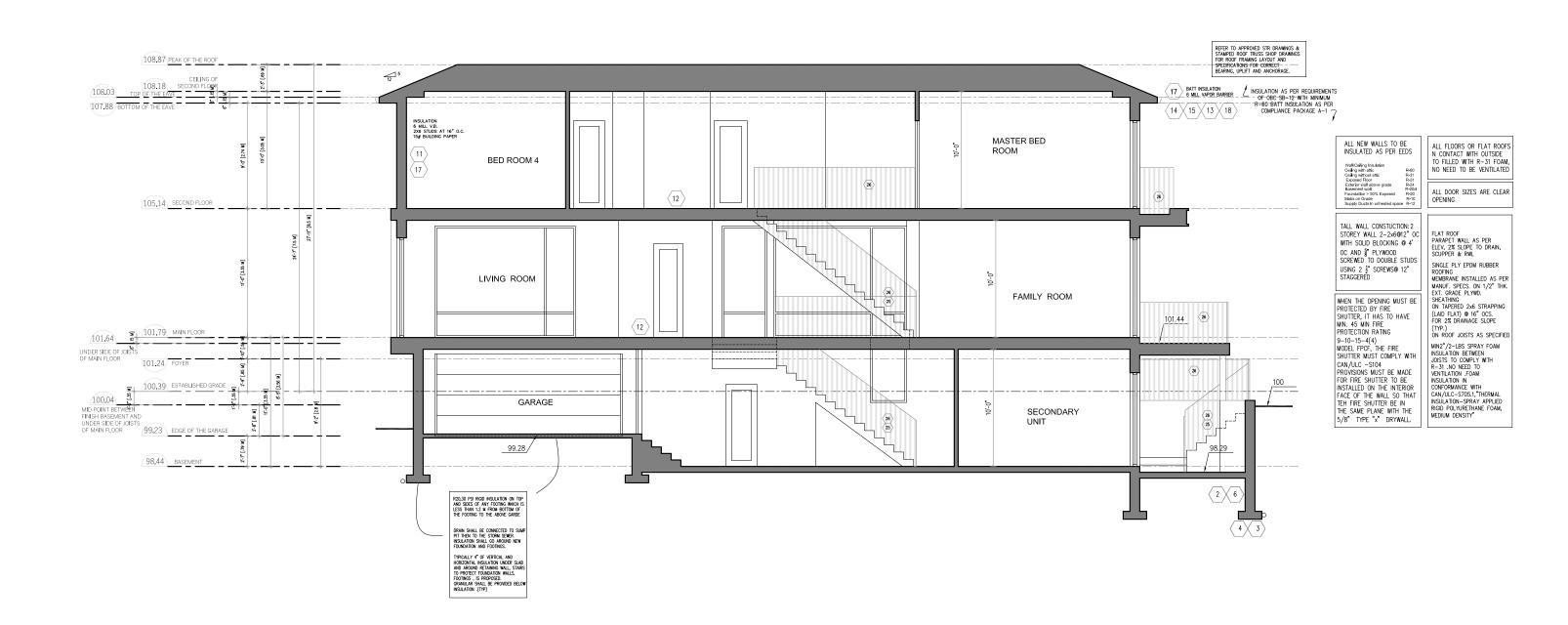
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PROJECT: 33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE: SECTION A-A

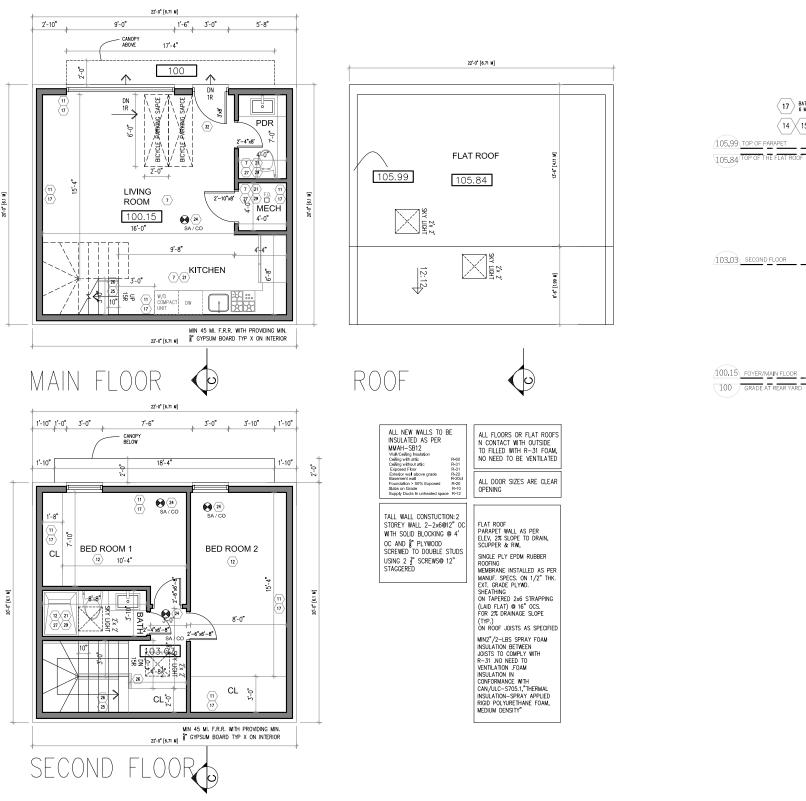
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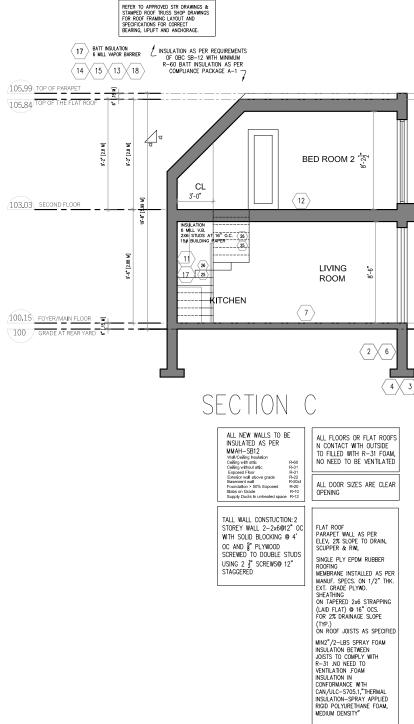


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PROJECT:

33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE:

FLOOR PLANS SECTION C

(GARDEN SUITE)

SCALE: 3/16"=1" PAPER SIZE: 11"x17"





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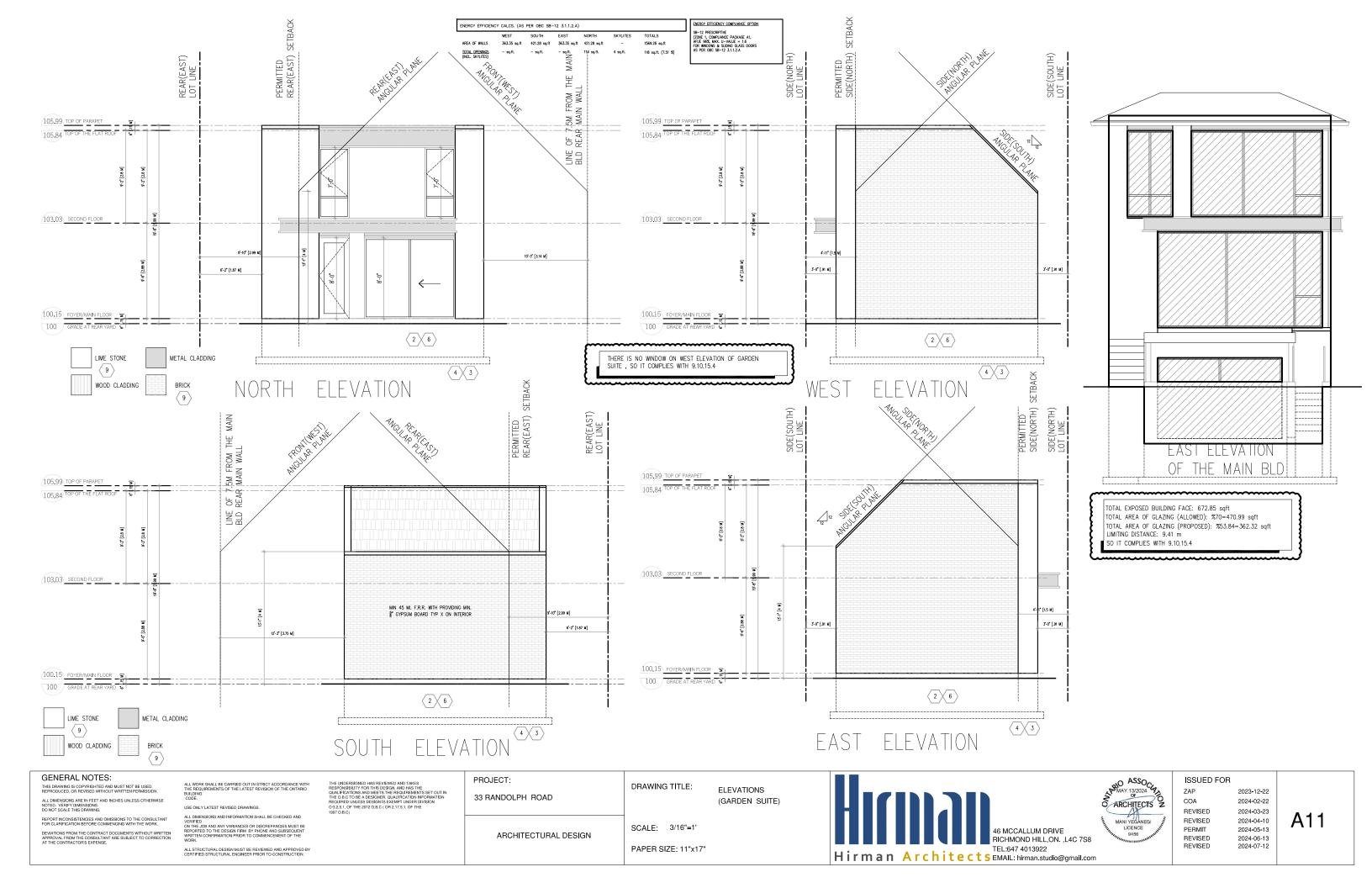
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2023-12-22

2024-07-12



### 1 Excavation and Backfill

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material
- If termites are known to exist, all stumps, roots If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of11 3/4" in excovated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4".
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

- Dampproofing and Drainage
   In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic
- Masonry foundation walls shall be paraed with 1/4"of mortar coved over the footi dampproofing

  4" foundation drains shall be laid on level,
- undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump

- storm sewer, drainage ditch, dry well or sump

  Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion

  Concrete slabs in attached garages shall be sloped to drain to the exterior

  The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not accumulate at or near the building and will not adversely affect adjacent properties

- minimum2200 psi poured concrete minimum48" below finished grade Footings shall be founded on natural undisturbed Footings shall be founded on medium fill with soil, rock or compacted granular fill with minimum bearing capacity of 2500psf

## 4 Footing Size

- f brick veneer supported, and by 5 1/8" for each
- storey of masonry
  The projection of an unreinforced footing
  beyond the wall supported shall not be greated
  than the statement of the statement
- (5) Step Footings
- Vertical Rise
  23 5/8" Max. for firm soils
  15 3/4" Max. for sand or gravel
  Horizontal Run = 23 5/8Min.

## (6) Foundation Walls

- To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness)
  Dampproofing shall be a heavy coat of bituminous material.
- Foundation wall to extend minimum 5 7/8" above finished grade as per OBC 9.15.4.6.
- above finished grade as per OBC 9.15.4.6.

  A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than?—I balow exterior grade.
  A drainage layer shall consist of
  Min. 3/4"mineral fibre insulation with min.
  Density of 3.6 lb/Sqaft
  Min. 4" of free drainage granular material,
  An approved system which provides equivalent performance
  Foundation walls shall be braced or have the floor joists installed before backfilling
  Reduction in this/crease; the reduced section

- Reduction in thickness: the reduced section shall be tied to the facing material with metal ties spaced not more than (i) 200 mm  $(7\frac{7}{4})$  o.c. vertically, and (ii) 900 mm  $(2'\ 11'')$  o.c. horizontally. The space between wall and facing shall be filled with mortar
- Maximum height of finished grade above basement slab for concrete wall of poured concrete (See plans/ elevations) Foundation walls laterally supported at the top, provide control joints every 49 °0" from tile holes to be sealed with minimum 3000 PSI concrete. Soil condition to be verified by soil engineer.

### (7) Concrete Floor Slabs

- Garage, carport and exterior slabs and exterior steps shall be4650psi concrete with 5—8% air
- Other slabs 3600psi concrete
- Minimum 4" thick, placed on a minimum 4" of coarse, clean, granular material
  All fill other than coarse clean material placed beneath concrete slabs shall be compacted to

### (8) Masonry Walls

- Where constructed of 31/2" brick, wall shall be bonded with header course every 6th course Provide 2" solid masonry or continuous1/2" plate under all roof and floor framing members
- Provide 7 1/2"solid masonry under beams and
- Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, 1 9/16 x 3/16 corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6'-7" o.c.
- least 3 joists @ 6"-7" o.c. Inside back of wall to be parged and covered with No15 breather—type asphalt paper For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 1/2 brick to minimum 3 1/2 brack—up block with corrosion resistant ties at least 0.028in" in cross sectional area, space@ 7/8" vertically and 2"-11" horizontally, with joints completely filled with mortar completely filled with mortar
- Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 5 7/8"end bearing

### Masonry Veneer

- Minimum 2 3/4"thick if joints are not raked and

- Minimum 2 3/4\*Thick if joints are not raked and 3 1/2\*Thick if joints are raked

  Minimum 1" air space to sheathing

  Provide weep holes © 31 o.c. at the bottom of the cavity and over doors and windows

  Direct drainage through weep holes wit80 mil poly floshing extending minimum 7/8" up behind the sheathing paper

  Veneer ties minimum 0.030" thick x7/8" wide corrosion resistant straps spaced © 23 5/8" vertically and15 3/4" horizontally

  Fasten ties with corrosion resistant0.125" diameter screws or spiral nails which penetrate at least 1–3/16" into studs

- All lumber shall be spruce-pine-fir No.1 &2, and shall be identified by a grade stamp
   Maximum moisture content 19% at time of
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil
- Sill plate set on foam gasket, poly, or mortar bed and anchored 6'-0" o.c. with anchor bolts set into concrete a min depth of 4". a

### (1) Walls

- Exterior walls shall consist of:

  cladding

  sheathing paper lapped 4"at joints

  3/8"fibreboard or gypsum board of/4"
  plywood sheathing
- plywood sheathing
   2x6 studs @6" o.c.
- 2x6 studs @6" o.c.
  2x6 bottom plate and doub2x6 top plate
  2x4 studs @6" o.c.can be utilized provided
  the combined R value of the batt insulation
  and exterior rigid insulation achieves R-22.
  Interior walls shall consist of:
- 2v4etude @16" o.c
- 2x4 bottom plate and double 2x4 top plate 2x4mid-girts if not sheathed 1/2" gypsum board sheathing

- Joists to have minimum 1 1/2" of end bearing
- Joists to have minimum 1 1/2" of end bearing
   Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7" 10" o.c
   Header joists between 3" 11" and 10" 6" in length shall be doubled. Header joists exceeding 10" 6" shall be sized by colculations
   Trimmer joists shall be doubled when supported header is betwee? "Trand 6" 7". Trimmer joists shall be sized by calculations when supported header exceeds 6" 7"
- 2x2 cross bridging required not more than 6' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers. Joists located under parallel non-loadbearing partitions shall be doubled

### Roof & Ceilings

- Hip and valley rafter shall \$20 deeper than
- common rafters
  2x4 collar ties © rafter spacing with 1x4
  continuous brace at mid span if collar tie exceeds
  7' 10" in length
- No. 210 (30.5Kg/m2) ashalt shingles

## (4) Notching & Drilling of Trusses, Joists, Rafters

- Holes in floor, roof and ceiling members to be maximum/ /\*x actual depth of member and not less than 2\* from edges
   Notches in floor, roof and ceiling members to be located on topof the member withly? the actual depth from the edge of bearing and not greater than 1/3 joist depth
   Wall studs may be notched or drilled provided that no less than? 3/3 the depth of the stud remains, if load bearing, and 9/16\*If non-load bearing

## (5) Roofing

- Fasteners for roofing shall be corrosion resistant.
  Roofing nails shall penetrate through or at least 1/2" into roof sheathing Every asphalt shingle shall be fastened with at least4 nails
- Every asphalt shingle shall be fastened with at least4 nails
   Eave protection shall extend. 11 up the roof slope from the edge, and at leakt3/4 from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum. head and end laps cemented together or glass Fibre or Polyseter Fibre coated base sheetagr self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope off in 1.5 or where a low slope asphalt shingle application is provided
   Open valleys shall be flashed with layers of roll roofing, of layer of sheet metal min. 5/8' wide
   Flashings shall be provided at the intersection of shingle roofs with exterior walls and chimneys
   Sheet metal flashing shall consist of not less than 1/16'sheetlead, 0.013" galvanized steel,0.018" zinc. or 0.019'sluminum
   Roof ventilation 1 sq.ft. per 300 sq.ft of

- Roof ventilation 1 sq.ft. per 300 sq.ft of ceiling area (50% at eaves) as per 9.29 O.B.C

### (6) Columns, Beams & Lintels

- Steel beams and columns shall be shop primed Minimum 3 1/2"end bearing for wood and steel beams, with 77/8"solid masonry beneath the
- diameter of  $2.7/8\mbox{''}$  and minimum wall thickness of  $3/16\mbox{''}$

## 17 Insulation & Weatherproofing

- Insulation shall be protected with avosum board insulation shall be protected with gypsam or or an equivalent interior finish, except for unfinished basements where 6 mm poly is sufficient for fibreglass type insulations
  - Ducts passing through unheated space shall be made airtight with tape or sealant
  - Caulking shall be provided for all exterior doors and windows between the frame and the exterior
  - and windows between the frame and the exterior cladding

    Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior.

    Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior

    1 1/2" (R10) rigid perimeter insulation to extend 2'-0 below ext.fin.grade

- Natural Ventilation
   Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area.
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or
- insects

  Unheated crawl spaces shall be provided with

  1.1 sqft of ventilation for each 5.38 sqft

  Minimum natural ventilation areas, where
  mechanical ventilation is not provided, are:
  Bathrooms: 0.97 sqft
  other rooms: 3 sqft
  Unfinished basement.0.2% of floor area

- 9 Doors and Windows g) Doors and Windows Every floor level containing a bedroom and not served by an exterior door shall contain at least window having an unabstructed open area of 3.8 sqft and no dimension less than 15," which is openable from the inside without tools Exterior house doors and windows within 6" 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbott lock The principal entry door shall have either a door viewer, transparent glazing or a sidelight

- ② Exterior Walls

  No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines

  5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends a froofs which are less than 3' 11" from property lines

  Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2 thick & reinforced with golvanized diamond mesh lath, opplied over polyethylene on sufflooring on joists at no more than 16°o.c. with at least rows cross bridging.
- Access to Attics and Crawl Spaces
   Access hatch minimum 21 1/2"x 23"to be provided to every crawl space and every roof space which is 108 sqft or more in area and more than 23 5/8" in height

### €3 STUCCO

- (Durex Stucco wall system or approved equivalent)
  Durex architectural coating
  1 Coat durex brush coat
  2 Coats durex dryplast concentrate
  Expanded galvanized metal lath
  Building paper
- Exterior siding or stucco as per elevation. Felt impregnated paper or house wrap (tyvex) on \$\frac{x}{2}\$ exterior type plywood sheathing on 2x6 at 16° 0/C Wood studs with wall thickness insulated with a min. R-22 factor and 8 mill N.B.D poly V.B.
- Stucco shall be applied with min. <sup>1</sup>/<sub>4</sub> thick first coat embedded in galv. mesh. The second coat with a min. <sup>1</sup>/<sub>4</sub>" thickness to be rough finished. The finished coat shall be not less than 1" thick.

### Alarms and Detectors

- Alarms and Detectors
  At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2' 11''or more above an adjacent level
  Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit. In compliance with the subsection 9.10.19. of the OBC.
  - All smoke alarms are required to be provided with visual signaling components (9.10.19.3.(5)).
  - Where a fuel-burning applience is installed ina suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite. In compliance with the subsection 9.33.4. of the OBC.
  - When a garage is attached to the dwelling unit, a carbon monoxide alarm shall be installed adjacent to each sleeping room

- Minimum Head Room 6' 5"
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8" of Winders which converge to a point in stairs must turn through an angle of no more than 90", with no less than 30 or more than 45 per tread. Sets of winders must be separated by 3" 11" along the run of the stair.
- run of the stair

  A landing minimum 2<sup>2</sup> 11" in length is required
  at the top of any stair leading to the principal
  entrance to a dwelling, and other entrances with
  more than 3 risers
  Exterior concrete stairs with more than 2 risers
  require foundations

- Handrails and Guards
   A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
   Guards are required around every accessible surface which is more than 23 5/8 above the adjacent level
- Interior and exterior guards min. 2' 11"high.
  Exterior guards shall be 3' 6" high where height above adjacent surface exceeds 5' 11"
- Guards shall have no openings greater than 4," and no member between 4"and 2" 11" that will facilitate climbing

Plumbing

Every dwelling requires a kitchen sink, lovatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities

A floor drain shall be installed in the basement, and connected to the sonitary sever where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well

## 28 Electrical

- Stectures

  An exterior light controlled by an interior switch is required at every entrance

  A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, loundy room, dining room, besthoue, hellway, gorage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms.
- Stairs shall be lighted, and except where serving

# an unfinished basement shall be controlled by a way switch at the head and foot of the stairs Basements require a light for each 323 sqft controlled by a switch at the head of the stairs

- 9 Mechanical Ventilation
- Mechanical Ventilation
  A mechanical ventilation system is required with a total capacity at least equal to the sum of:
  20 cfm each for basement and master bedroor
  10 cfm for each other room
  A principal dwelling schaust fon shall be installed and controlled by a centrally located switch identified as such
  Supplemental exhaust shall be installed so that
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances
- are installed Supply air intakes shall be located so as to avoid contamination from exhaust outlets
- Dryers to be vented directly to outside through wall or roof.

### (30) Fireplaces

Direct vent gas fireplace installed as per manufacturers specifications

## Window wells shall be drained to the weeping tile

(32) Gasproof Doors

### (33) Gasproofed Walls & Ceiling

- Gragage walls and ceiling shall be gasproofed with  $1/2^{\prime\prime}$  G.B. and taped joists (34) Dampproofed Stairs Basement stair stringers shall be dampproofed u/s with 45# building paper
- (35) Rain Water Leaders
- R.W.L. Drained to conc. splash pads

## PRO ASSOC HIRMAN ARCHITECTS INC 46 MCCALLUM DRIVE RICHMOND HILL ,ON,L4C 7S8 P: (647) 4013922 E: hirman.studio@gmail.com S ARCHITECTS Z NEW 2-STOREY SINGLE FAMILY DWELLING AND A BASEMENT SECONDARY SUITE 33 Randolph Road (Main BLD)

ltem		Ontario's 2012 I Data Matrix	BC Reference  References are to Division B unless noted  [A] for Division A or [C] for Division C.					
1	Project Descrption:		New New	□ Part 11		□ Part 3	■ Part 9	
		☐ Change of Use	☐ Addition ☐ Alteration	11.1 to	11.4	1.1.2 [A]	1.1.2. [A] & 9.10.1.3.	
2	Major Occupancy(s) GR	OUP C RESIDEN	TIAL OCCUPAN	CY		3.1.2.1.(1)	9.10.2.	
3	Building Ares (m2)	Existing	New_ 123.61	Total _	123.61	1.4.1.2. [A]	1.4.1.2. [A]	
4	Gross Area	Existing_	New _ 250.46	Total	250.46	1.4.1.2. [A]	1.4.1.2. [A]	
5	Number of Streys	Above grade 2	Below g	rade 1		1.4.1.2. [A]&3.2.1.1.	1.4.1.2[A] & 9.10.4	
6	Number of Steets/Fire Fi	ghter Access 1				3.2.2.10. & 3.25.	9.10.20.	
7	Building Classification	GROUP C- RSIDE	NTIAL OCCUPA	NCY		3.2.2.2083	9.10.2.	
9	Sprinkler Sysem Propose Standpipe required	rd	entire buil selected of selected fl basement not require	ompartmen oor areas □ in lieu o		3.2.22083 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2. INDEX	
10	Fire Alarm required		□ Yes ■1			3.2.4	9.10.18.	
11	Water Service/Supply is		Yes D			3.2.5.7.	9.10.18. N/A	
12	High Building	Adequate	□ Yes □			3.2.6.	N/A	
13	Construction Restrictions Actual Construction	Combustible permitted Combustible	e	oustible	□ Both	3.2.2.2083	9.10.6.	
14	Mezzanine(s)Area m <sup>2</sup>					3.2.11.(3)-(8)	9.10.4.1.	
15	Occupant load based on Basement: 1st Floor 2nd Floor 3rd Floor ( Additional foor areas of	Occupancy C Occupancy C Occupancy C Occupancy C Occupancy C	design of Lose Lose Lose Lose	1 4 1 2 1 8	persons persons persons persons	3.1.17.	9.9.1.3.	
16	Barrier-free Eesign		(Explain) SINGLE	FAMILY	DWELLING	3.8.	9.5.2.	
17	Hazardous Substances	□ Yes ■ No				3.3.1.2. & 3.3.1.19.	9.10.1.3.(4)	

### P MAY 13/2023 HIRMAN ARCHITECTS INC 46 MCCALLUM DRIVE RICHMOND HILL ,ON,L4C 7S8 P: (647) 4013922 E: hirman.studio@gmail.com ARCHITECTS Z NEW 2-STOREY GARDEN SUITE MANI YEGANE LICENCE 9456 33 Randolph Road (Garden Suite) Ontario's 2012 Building Code Data Matrix Part 3 or 9 Part 9 ☐ Addition 2 Major Occupancy(s) GROUP C RESIDENTIAL OCCUPANCY 3 Building Area (m²) Existing New 40.87 Total 40.87 4 Gross Area Existing New 81.75 Total 81.75 1.2. [A] 1.4.1.2. [A] Below grade 5 Number of Storeys Above grade 2 .1.2. [A]&3.2.1.1. 1.4.1.2[A] & 9.10.4 6 Number of Streets/Fire Fighter Access 1 7 Building Classification GROUP C- RSIDENTIAL OCCUPANCY 3.2.2.20.-.83 9.10.2. entire building selected floor area □ basement □ in lieu of r 9 Standpipe required 10 Fire Alarm required 9.10.18. 12 High Building ☐ Non-combustible required 2.2.20.-.83 ■ Combustible □ Non-combustible □ Both

17 Hazardous Substances □ Yes ■ No

Load Load 2 persons

18	Required		Horizontal Assemblies				Listed Design No.					&	9.10.8.		
	Fire		FRR (Hours)			0	or Description (SG-2)				.1.4.		9.10.9.		
	Resis	-	Floors	1	Hours										
	Rat		Roof	0	Hours										
	(FF	R)	Mezzanine 0 Hours												
			FRR of Supporting Members					Design No							
							Description (SG-2)								
		L	Floors		1 Hours										
			Roof	0	Hours										
			Mezzanine 0 Hours												
9	Spatial S	eparation c	Construc	ction of Ex	terior Walls								9.10.14.		
	Wall	Area of	L.D.	L/H or	Permitted	Propose	Proposed %		Listee	d Comb		Comb.	Constr.	Non-comb	
		EB? (m²	) (m)	H/L	Max. % of	of Openi		(Hours)	Design		Const		one.	Constr.	
		1.00.0	_	-	Openings		_	N/D	Descript	ion	YES	Clas	dding		
	North	162.8	+		100	35.88	_	N/R 45MIN	N/A						
	South	149.23			0	-	0				YES				
	East	62.51	+	-	100	25.06		N/R		N/A					
	West	54.89			100	46.35		N/R	N/A		YES				
0:	Plumbin	g Fixure R	equiremen	nts											
													BC Re	ference	
													Part 3	□ Part 9	
	Male/Fer	male Count	@	%/	%,	Occupant			Fixtures		Fixtures				
	except as	noted other	erwise		-	Load	oad Nu		Required	Provided		+			
	Basement: Occupancy				-					+		+-			
	Occupancy									+		_			
	1st Floor: Occupancy									$\perp$					
	Occupancy									$\perp$					
	2 <sup>nd</sup> Floor: Occupancy									$\perp$					
		Occupancy													
	3rd Floor	Occupan								Т					
		Occupan								Т					
		Occupan								т					
		s Required	for Addit	tional Floc	rs or										
21	Occupan						_			_					
:1	Other (describe)														
	49.00									_			_		
	15 (OccupantLoad - Continued)									$\vdash$			-		
		Floor	Occupancy					_ persons							
		Floor	Occupancy					persons							
		Floor					Loadpersons								
		Floor					Loadpersons								
		Floor					Loadpersons								
		Floor Occupancy  Floor Occupancy				Load		_ persons							
		Floor Occupancy Floor Occupancy						_ persons							
						Load Load		_ persons persons							

18	Req	uired	Ho	rizontal A	ssemblies		Liste	ed Design N	0.		2.2083	&	9.10.8.	
	Fire				or Description (SG-2)				3.2.1.4.			9.10.9.		
	Resistance		Floors_0Hours											
		ting	Roof 0 Hours											
	(FI	RR)	Mezzanir											
			F		Listed Design No. Or Description (SG-2)									
			Floors_0		Hours									
			Roof		Hours								_	
			Mezzanir	ne 0	Hours									
19	Spatial S	Separation	ے Construc	tion of Ext	terior Walls					3.2.	3.		9.10.14	
	Wall Area of EBF (m				Permitte Max. % o Opening	of Oper	Proposed % of Openings		Design	Listed Design or Description		Comb. Corstr. None. Cladding		Non-com Constr.
	North	39.13			100		27.06		N/A		YES			
	South			+		0	0		N/A		YES			
	East	33.75			7	0		N/R	N/A		YES			
	West	33.75			7	0		N/R	N/A		YES			
20	Plumbin	g Fixture	Requiremen	nts										
													BC Re	ference
													Part3	□ Part
	Male/Female Count @%/%,				Occupant	Bo	Table	Fixtures	Т	Fixtures				
	except as noted otherwise													
	except a	s noted otl	nerwise			Load		umber	Required		Provided			
		s noted otl	nerwise ney					umber	Required		Provided			
		s noted otl nt: Occupa	nerwise					umber	Required		Provided			
	Basemen	s noted otl nt: Occupa Occupa	ncy	_				umber	Required		Provided			
	Basemen	nt: Occupa Occupa Occupa	nerwise					umber	Required		Provided			
	Basemen	s noted oth nt: Occupa Occupa Occupa	ncy ncy ncy ncy					umber	Required		Provided			
	Basemen	s noted oth nt: Occupa Occupa Occupa Occupa r: Occupa	ncy ncy ncy					umber	Required		Provided			
	Basemen  1 <sup>st</sup> Floor  2 <sup>nd</sup> Floor	s noted oth  nt: Occupa  Occupa  Occupa  Occupa  Occupa  Occupa  Occupa	ncy ncy ncy ncy ncy					umber	Required		Provided			
	Basemen  1 <sup>st</sup> Floor  2 <sup>nd</sup> Floor	s noted oth  nt: Occupa  Occupa  Occupa  Occupa  Occupa  Occupa  Occupa	ncy ncy ncy ncy ncy ncy					umber	Required		Provided			
	Basemen  1st Floor  2nd Floor  3rd Floor  (Adjust	nt: Occupa	ncy ncy ncy ncy ncy ncy					umber	Required		Provided			
21	Basemen  1st Floor  2st Floor  3st Floor  (Adjust: Occupan	occupa	ncy					umber	Required		Provided			
21	Basemen  1st Floor  2nd Floor  3rd Floor  (Adjust	occupa	ncy					umber	Required		Provided			
21	Basemen  1st Floor  2st Floor  2st Floor  (Adjust Occupan  Other (d	s noted off nt: Occupa	ncy	ional Floo				umber	Required		Provided			
21	Basemen  1st Floor  2st Floor  3st Floor  (Adjust Occupan  Other (d	s noted off  at: Occupa Uccupa	nerwise ney ney ney ney ney ney d for Addit	ional Floo	rs or	Load	N		Required		Provided			
21	Basemen  1st Floor  2nd Floor  3nd Floor  (Adjust Occupan Other (d)	s noted off  at: Occupa Occupa Occupa Occupa Occupa Occupa Occupa Occupa Occupa Seriolos Occupa Occupa Seriolos Occupa Occupa Seriolos Occupa Occupa Seriolos Occupa Seriolos Occupa Seriolos Occupa Seriolos Occupa Seriolos	nerwise ney	ional Floo	rsor	Load	N	persons	Required		Provided			
21	Basemen  1st Floor  2nd Floor  3nd Floor  (Adjust Occupan Other (d)	s noted off  at: Occupa Uccupa	nerwise ney	ed)	es or	Load  Load	N dd	persons	Required		Provided			
21	Basemen  1st Floor  2nd Floor  3nd Floor  (Adjust Occupan  Other (d	nt: Occupa Secribe)	nerwise ney	ed) cupancy _ cupancy _ cupancy _	es or	Load  Load  Load	N is a second se	persons persons	Required		Provided			
21	Basemen  1st Floor  2nd Floor  3nd Floor  (Adjust Occupan Other (d	nt: Occupa Secribe) Occupa Occupa Secribe)	ney	ional Floo ed) cupancy _ cupancy _ cupancy _ cupancy _	es or	Load  Load  Load  Load	i i i i i i i i i i i i i i i i i i i	persons persons persons	Required		Provided			
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RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT II THE O.B.C TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED IN INFESS RESIGN IS SEVENT LINDER DIVISION. C-3 2 5 1 OF THE 2012 O B C ( OB 2 17 5 1 OF THE

PROJECT:

33 RANDOLPH ROAD

ARCHITECTURAL DESIGN

DRAWING TITLE:

SCALE:

CONSTRUCTION NOTE DATA MATRIX

PAPER SIZE: 11"x17"

46 MCCALLUM DRIVE RICHMOND HILL,ON. ,L4C 7S8 TEL:647 4013922 Hirman Architects EMAIL: hirman.studio@gmail.com

ARMO ASSOCIATION OF THE PROPERTY OF S ARCHITECTS LICENCE

ISSUED FOR ZAP 2023-12-22 COA 2024-02-22 REVISED 2024-03-23 REVISED 2024-04-10 PERMIT 2024-05-13 REVISED 2024-06-13 REVISED 2024-07-12